

Development Data:

Total Tract Area = 21.77 ac.

Density - Permitted Density (@ 6 units/ac.) = 212 units Proposed Density 56 units = 2.6 units/ac.

Area in R/W - 2.6 ac. Area in Lots - 10.42 ac. Common Areas - 10.07 ac.

Area of Wetlands - 1.93 ac.

Min. Lot Size - 5000 s.f. Avg. Lot Size - 8105 s.f.

Building Setbacks:

Front: 15' Corner: 10' Rear: 15' Interior Side: 5'

Recreation Area - (@ 0.03 ac/unit) (55 units x .03) = 1.65 ac. req'd.

\*\* 1.83 ac.+ Active prov'd. \*\* \*\* 2.20 ac.+ Passive prov'd. \*\*

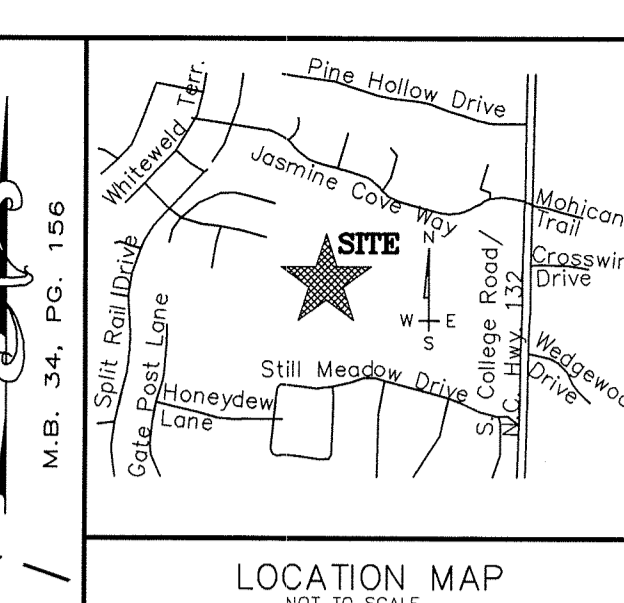
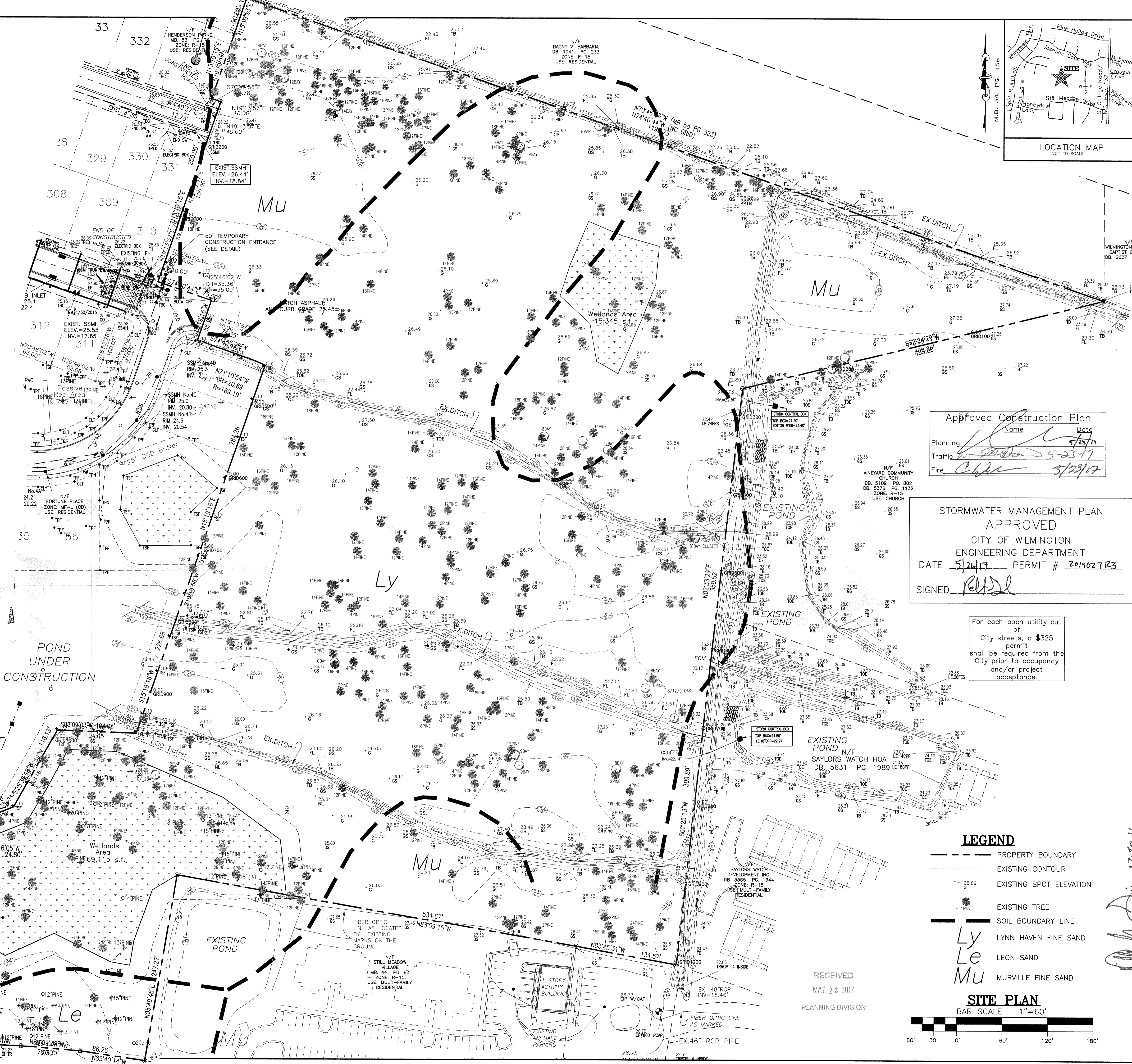
Total Length of Streets - 2603 L.f.±

Estimated Impervious Surfaces - Lot Coverage - 5.14 ac.±

(@ 4000 s.f./lot) Street Pavement - 1.7 ac.± Sidewalks - 0.6 ac.± Total - 7.44 ac.± (34.1%)

GENERAL NOTES:

- 1. Applicant: Tripp Engineering, P.C. 2. Property owner: Hooper Duddy, LLC 3. Property developer: Deans Hackney 4. Site address: 4900 Gate Post Lane 5. Zone: MF-L (CO) 6. New Hanover County Parcel Nos.: PIN 3134(06)-39-4823 [PID R07100-003-015-001] 7. CAMA Land Classification: Urban 8. This property is not impacted by any AEC. 9. There are Conservation Resources affecting this property. Conservation Resources shall be permanently protected, small undisturbed and shall be permanently preserved by conservation easements, protective covenants, or similar restrictions or by any of the procedures for the dedication of park, recreation, and open space areas set forth in the Land Development Code. 10. This site is not impacted by any recognized historic or archeological significance. 11. No cemeteries were evidenced on the site. 12. There is no evidence of endangered species or habitat issues on the site. 13. This tract is not within a Special Flood Hazard Area as referenced on FIRM Map # 3720313400A, Effective April 3, 2006. 14. The tract is within the Motts Creek watershed, Cape Fear River Basin. 15. All development shall be in accordance with the City of Wilmington Land Development Code. 16. All development shall meet any county, state or federal regulations for construction permitting. 17. All roads to be dedicated for public use to the City of Wilmington and will be designed & constructed in accordance with their standards for subdivision roads. 18. All common areas shall be dedicated to and maintained by a Homeowners Association. 19. Existing water and sanitary sewer are currently available to the site from Cape Fear Public Utility Authority public mains. 20. No thoroughfares, routes or trails. 21. Jurisdictional wetlands have been delineated on the site as shown. Signed US Army Corp of Engineers map provided. 22. There are no perennial streams on site. 23. Sidewalks, 5 feet in width, to be installed along all rights of way. 24. All pavement markings in public rights-of-way and for driveways are to be thermoplastic and meet City and/or NCDOT standards. 25. All signs and pavement markings in areas open to public traffic are to meet MUTCD (Manual on Uniform Traffic Control Devices) standards. 26. Install reflectors per City and NCDOT standards. Traffic Engineering must approve of pavement marking layout prior to actual striping. 27. It shall be the responsibility of the subdivisor to erect official street name signs at all intersections associated with the subdivision in accordance with the Technical Standards and Specifications Manual. The subdivisor may acquire and erect official street name signs or may choose to contract with the City to install the street signs and the subdivisor shall pay the cost of such installation. Contact Traffic Engineering at 910-341-7888 to discuss installation of traffic and street name signs. Proposed street names must be approved prior to installation of street name signs. 28. Street lighting shall be provided in accordance with Sec. 18-380 of the subdivision regulations. 29. Any broken or missing sidewalk panels and curbing will be replaced. 30. A landscaping plan indicating the location of required street trees shall be submitted to the City of Wilmington Traffic Engineering Division and Parks and Recreation Department for review and approval prior to the recording of the final plat. 31. Contact Traffic Engineering at 910-341-7888 forty-eight hours prior to excavation in the right-of-way. 32. Per the requirements of the stormwater permit, the following shall occur prior to issuance of a certificate of occupancy or operation of the permitted facility: a. As-built drawings for all stormwater management facilities shall be submitted to the City of Wilmington Engineering Division. b. An Engineer's certification shall also be submitted, along with all supporting documentation that specifies, under seal that the as-built stormwater measures, controls and devices are in compliance with the approved stormwater management plans. c. A final inspection by City of Wilmington Engineering personnel. d. All required stormwater/drainage easements and deed restrictions shall be recorded with the register of deeds office. e. Soil types: LE=Leon Sand LY=Lynn Haven Fine Sand MU=Murville Fine Sand 33. All reinforced concrete storm drain pipe shall be class V. 34. No obstructions are permitted in the space between thirty (30) inches and ten (10) feet above the ground within the triangular site distance, proposed backflow boxes (all utility service facilities) are less than 30" in height. 35. A utility cut permit is required for each open cut of a city street in certain cases an entire resurfacing of the are being open cut may be required. Contact 341-5888 for more details. 36. 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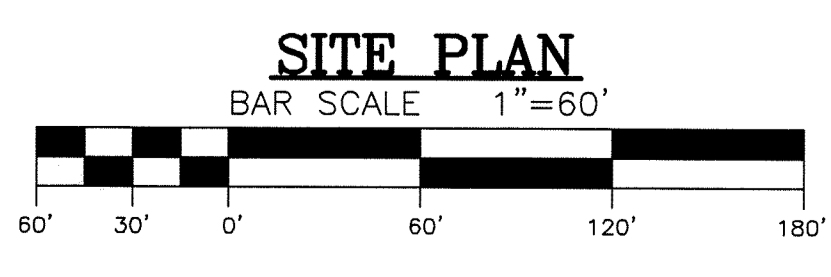
REVISIONS table with columns: Date, Description, E.W.

Approved Construction Plan Name Date Planning Traffic Fire

STORMWATER MANAGEMENT PLAN APPROVED CITY OF WILMINGTON ENGINEERING DEPARTMENT DATE 5/21/17 PERMIT # 201902783 SIGNED [Signature]

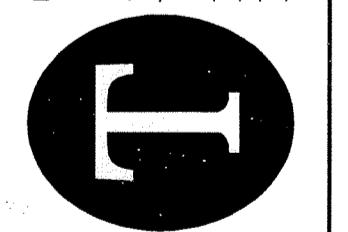
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

- LEGEND: PROPERTY BOUNDARY, EXISTING CONTOUR, EXISTING SPOT ELEVATION, EXISTING TREE, SOIL BOUNDARY LINE, LYNN HAVEN FINE SAND, LEON SAND, MURVILLE FINE SAND



RECEIVED MAY 22 2017 PLANNING DIVISION

EXISTING CONDITIONS AND SITE INVENTORY PLAN FORTUNE PLACE II NEW HANOVER COUNTY, NORTH CAROLINA

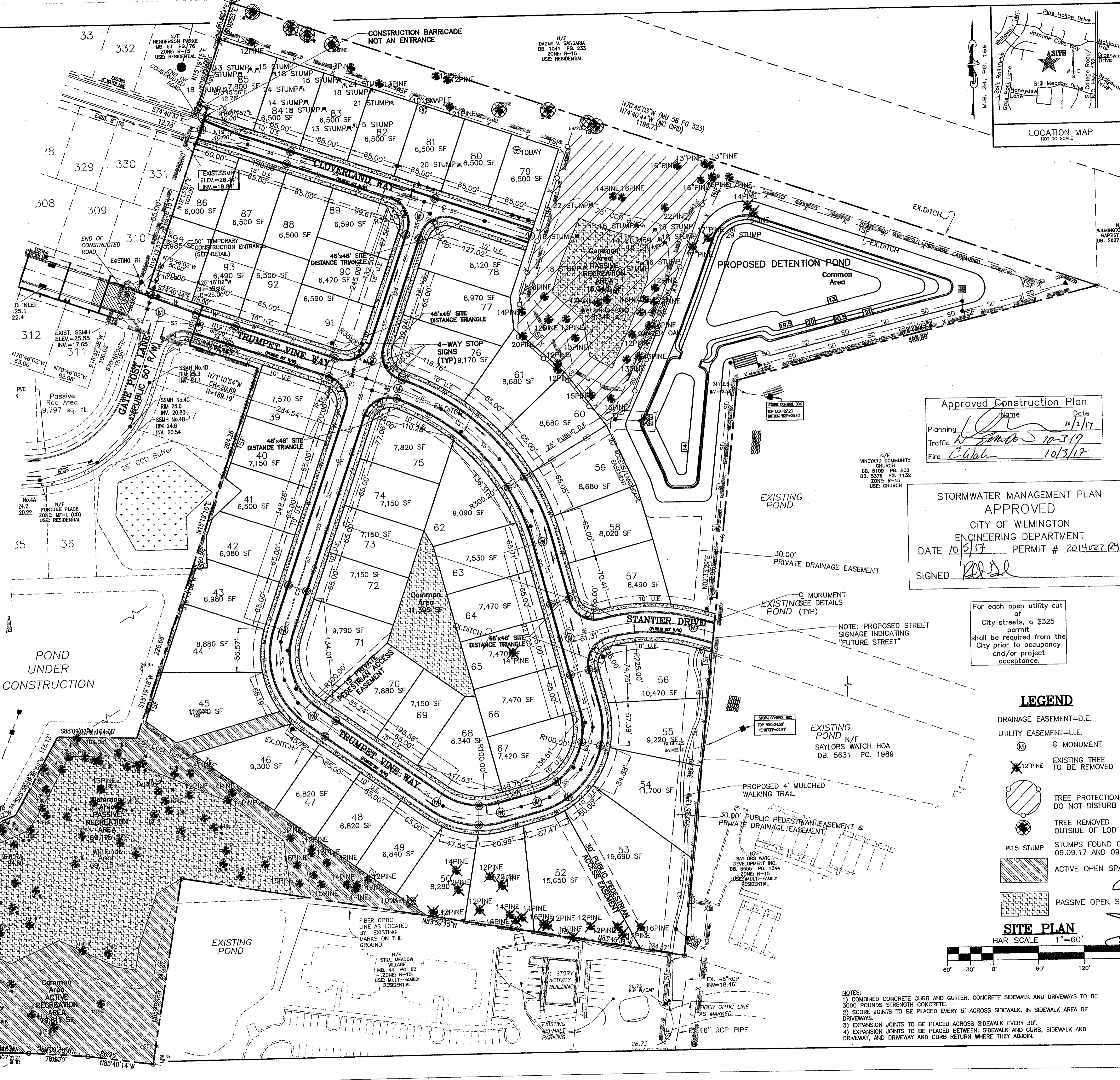


DATE 12-28-16 DESIGN PGT DRAWN EJW

C1 SHEET 1 OF 9 14023

- CONDITIONAL DISTRICT NOTES:**
1. THE PROPERTY SHALL BE SUBJECT TO ALL REQUIREMENTS OF THE LAND DEVELOPMENT CODE FOR THE PROPOSED USE AS WELL AS ANY ADDITIONAL CONDITIONS STATED BELOW.
  2. IF FOR ANY REASON ANY CONDITION FOR APPROVAL IS FOUND TO BE ILLEGAL OR INVALID OR IF THE APPLICANT SHOULD FAIL TO ACCEPT ANY CONDITION FOLLOWING APPROVAL, THE SITE PLAN FOR THE DISTRICT SHALL BE NULL AND VOID AND OF NO EFFECT AND THE PROPERTY SHALL BE REZONED TO ITS PREVIOUS ZONING CLASSIFICATION.
  3. TRAFFIC IMPROVEMENTS REQUIRED BY THE CITY OF WILMINGTON SHALL BE INSTALLED PRIOR TO ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY FOR ANY UNIT LOCATED WITHIN THIS DEVELOPMENT.
  4. THE APPLICANT SHALL INSTALL TYPICAL DRIVEWAYS FOR THE DEVELOPMENT FROM ANY PROPOSED PUBLIC STREETS.
  5. IN ACCORDANCE WITH LDC ARTICLE B, A TREE PROTECTION/REMOVAL PERMIT IS REQUIRED, AND THE PROPOSED DEVELOPMENT SHALL BE SUBJECT TO CODE GUIDELINES FOR TREE PRESERVATION AND REMOVAL.
  6. IN ACCORDANCE WITH LDC GUIDELINES, SEC. 18-69, REQUIRED IMPROVEMENTS SHALL BE CONSTRUCTED PRIOR TO SUBMISSION OF ANY FINAL SUBDIVISION PLAT.
  7. THE DEVELOPER SHALL PROVIDE A STUB ACCESS TO VINEYARD COMMUNITY CHURCH FOR FUTURE STREET EXTENSION. THE STUB IS TO RUN TO THE EASTERN PROPERTY LINE OF THE SUBJECT PROPERTY FROM THE PROPOSED INTERNAL STREET.
  8. THE DEVELOPER SHALL PROVIDE A 30-FOOT PEDESTRIAN/NON-MOTORIZED VEHICULAR ACCESS TO THE ADJOINING PROPERTY OF STILL MEADOWS APARTMENT.
  9. THE DEVELOPMENT SHALL COMPLY WITH THE APPROVED CD SITE PLAN.
  10. ALL TRC AND SRB REQUIREMENTS SHALL BE MET.
  11. ALL CITY, STATE AND FEDERAL REGULATIONS SHALL BE FOLLOWED.

REVISIONS		
Date	Description	By
03-08-17	LOW & SS COMMENTS	EJW
04-28-17	COW COMMENTS	EJW
05-11-17	COW COMMENTS	EJW
05-16-17	ADDED MONUMENTS	EJW
07-31-17	ADDED CONTOURS TREES REMOVED	EJW
08-30-17	ADDED TREE SURVEY	MLV
09-28-17	ADDED TREE STUMPS	MLV
09-28-17	ADDED NOTE UNDER TREE REMOVAL CHAIR	MLV



**Approved Construction Plan**

Name: \_\_\_\_\_ Date: 11/2/17

Planning: \_\_\_\_\_

Traffic: \_\_\_\_\_

Fire: \_\_\_\_\_

**STORMWATER MANAGEMENT PLAN APPROVED**

CITY OF WILMINGTON  
ENGINEERING DEPARTMENT

DATE 10/3/17 PERMIT # 2017027R1

SIGNED: [Signature]

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

- LEGEND**
- DRAINAGE EASEMENT=D.E.
  - UTILITY EASEMENT=U.E.
  - MONUMENT
  - EXISTING TREE TO BE REMOVED
  - TREE PROTECTION - DO NOT DISTURB
  - TREE REMOVED OUTSIDE OF LOD
  - STUMPS FOUND ON 09.09.17 AND 09.11.17
  - ACTIVE OPEN SPACE
  - PASSIVE OPEN SPACE

**SITE PLAN**

BAR SCALE 1"=60'

- NOTES:**
- 1) COMBINED CONCRETE CURB AND GUTTER, CONCRETE SIDEWALK AND DRIVEWAYS TO BE 3000 POUNDS STRENGTH CONCRETE.
  - 2) SCORE JOINTS TO BE PLACED EVERY 5' ACROSS SIDEWALK, IN SIDEWALK AREA OF DRIVEWAYS.
  - 3) EXPANSION JOINTS TO BE PLACED ACROSS SIDEWALK EVERY 30'.
  - 4) EXPANSION JOINTS TO BE PLACED BETWEEN SIDEWALK AND CURB, SIDEWALK AND DRIVEWAY, AND DRIVEWAY AND CURB RETURN WHERE THEY ADJOIN.

TREES TO BE REMOVED:  
TREE INVENTORY

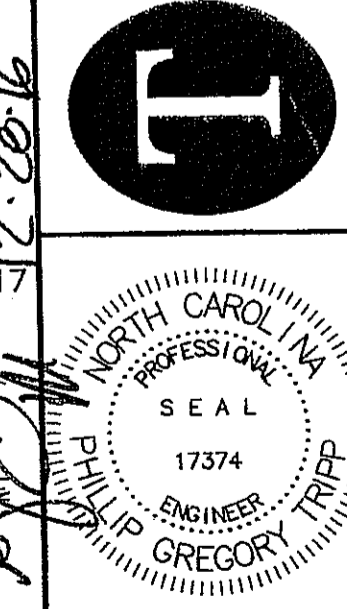
NUMBER	TYPE OF TREE	TREE SIZE
7	PINE	12"
2	PINE	13"
6	PINE	14"
1	PINE	15"
3	PINE	16"
2	PINE	17"
1	MAPLE	10"

22 TOTAL TREES TO BE REMOVED

NOTES:  
1. TREES WITHIN PASSIVE RECREATION AREA EXCEED MITIGATION REQUIREMENT.

SITE AND TREE REMOVAL PLAN  
**FORTUNE PLACE II**  
 WILMINGTON, NORTH CAROLINA

**TRIPP ENGINEERING, P.C.**  
 419 Chestnut Street  
 Wilmington, North Carolina 28401  
 Phone 910-763-5100  
 Fax 910-763-5631



DATE 12-28-16  
DESIGN PGT  
DRAWN EJW

**C2**

SHEET 2 OF 9  
14023

**Development Data:**

Total Tract Area = 21.77 ac.

Density -  
 Permitted Density (@ 6 units/ac.) = 212 units  
 Proposed Density 56 units = 2.6 units/ac.

Area in R/W - 2.6 ac.  
 Area in Lots - 10.42 ac.  
 Common Areas - 10.07 ac.

Area of Wetlands - 1.93 ac.

Min. Lot Size - 5000 s.f.  
 Avg. Lot Size - 8105 s.f.

**Building Setbacks:**

Front: 15'  
 Corner: 10'  
 Rear: 15'  
 Interior Side: 5'

Recreation Area - (@ 0.03 ac/unit) (55 units x .03) = 1.65 ac. req'd.

\*\* 1.83 ac.+ Active prov'd. \*\*  
 \*\* 2.20 ac.+ Passive prov'd. \*\*

Total Length of Streets - 2603 l.f.±

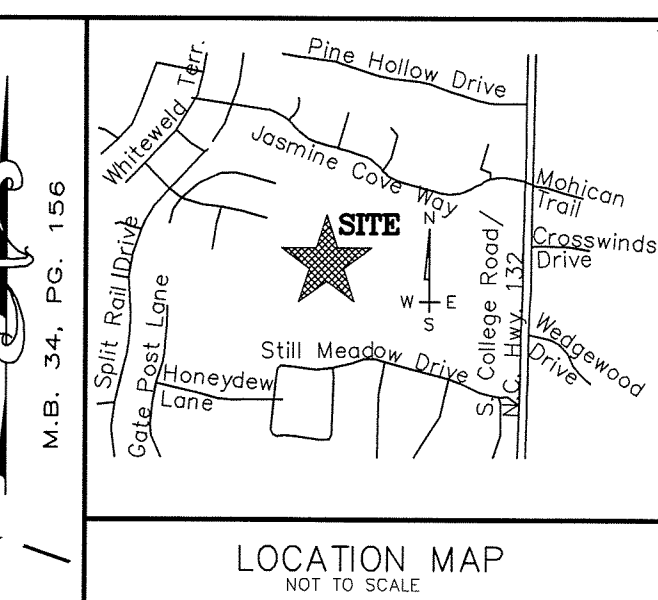
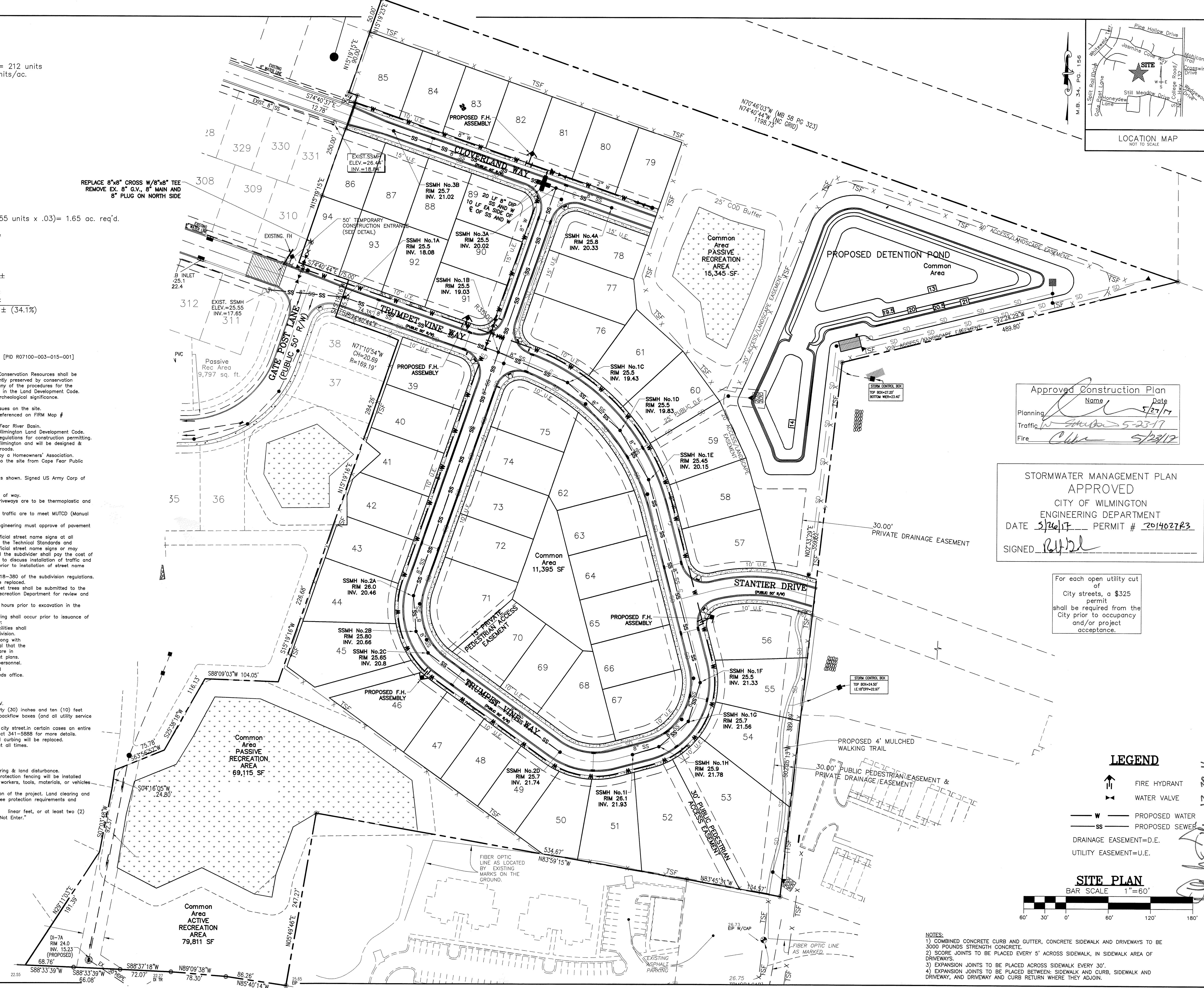
Estimated Impervious Surfaces -  
 Lot Coverage - 5.14 ac.±  
 (@ 4000 s.f./lot)  
 Street Pavement - 1.7 ac.±  
 Sidewalks - 0.6 ac.±  
 Total - 7.44 ac.± (34.1%)

**GENERAL NOTES:**

1. Applicant: Tripp Engineering, P.C.
2. Property owner: Hoosier Daddy, LLC
3. Property developer: Deans Hockney
4. Site address: 4900 Gate Post Lane
5. Zone: MF-L (CD)
6. New Hanover County Parcel Nos.: PIN 3134(06)-39-4823 [PID R07100-003-015-001]
7. CMA Land Classification: Urban
8. This property is not impacted by any AEC.
9. There are Conservation Resources affecting this property. Conservation Resources shall be permanently protected, retained and shall be permanently preserved by conservation easements, protective covenants, or similar restrictions or by any of the procedures for the dedication of park, recreation, and open space areas set forth in the Land Development Code.
10. This site is not impacted by any recognized historic or archeological significance.
11. No cemeteries were evidenced on the site.
12. There is no evidence of endangered species or habitat issues on the site.
13. This tract is not within a Special Flood Hazard Area as referenced on FIRM Map # 3720313400A, Effective April 3, 2006.
14. The tract is within the Barnyard Creek watershed, Cape Fear River Basin.
15. All development shall be in accordance with the City of Wilmington Land Development Code.
16. All development shall meet any county, state or federal regulations for construction permitting.
17. All roads to be dedicated for public use to the City of Wilmington and will be designed & constructed in accordance with their standards for subdivision roads.
18. All common areas shall be dedicated to and maintained by a Homeowners' Association.
19. Existing water and sanitary sewer are currently available to the site from Cape Fear Public Utility Authority public mains.
20. No thoroughfares, routes or trails.
21. Jurisdictional wetlands have been delineated on the site as shown. Signed US Army Corp of Engineers map provided.
22. There are no perennial streams on site.
23. Sidewalks, 5 feet in width, to be installed along all rights of way.
24. All pavement markings in public rights-of-way and for driveways are to be thermoplastic and meet City and/or NCDOT standards for application.
25. All signs and pavement markings in areas open to public traffic are to meet MUTCD (Manual on Uniform Traffic Control Devices) standards.
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31. Contact Traffic Engineering at 910-341-7888 forty-eight hours prior to excavation in the right-of-way.
32. Per the requirements of the stormwater permit, the following shall occur prior to issuance of a certificate of occupancy or operation of the permitted facility:
  - a. As-built drawings for all stormwater management facilities shall be submitted to the City of Wilmington Engineering Division.
  - b. An Engineer's certification shall also be submitted, along with all supporting documentation that specifies, under seal that the as-built stormwater measures, controls and devices are in compliance with the approved stormwater management plans.
  - c. A final inspection by City of Wilmington Engineering personnel.
  - d. All required stormwater/drainage easements and deed restrictions shall be recorded with the register of deeds office.
33. Soil Types:  
 LE-Leon Sand  
 LY-Lynn Haven Fine Sand  
 MU-Murville Fine Sand
34. All reinforced concrete storm drain pipe shall be class V.
35. No obstructions are permitted in the space between thirty (30) inches and ten (10) feet above the ground within the triangular site distance. Proposed backflow boxes (and all utility service facilities) are less than 30" in height.
36. A utility cut permit is required for each open cut of a city street in certain cases an entire resurfacing of the are being open cut may be required. Contact 341-5888 for more details.
37. Any broken or missing sidewalk panels, driveway panels and curbing will be replaced.
38. All weather emergency vehicle access shall be maintained at all times.

**Tree Protection Notes:**

1. Tree Preservation / Removal Permit is required prior to clearing & land disturbance.
2. Prior to any clearing, grading or construction activity, tree protection fencing will be installed around protected trees or groves of trees and no construction workers, tools, materials, or vehicles are permitted within the tree protection fencing.
3. Protective fencing is to be maintained throughout the duration of the project. Land clearing and construction contractors shall receive adequate instruction on tree protection requirements and methods.
4. Label protective fencing with signs to be placed every 50' linear feet, or at least two (2) per area, in both English & Spanish "Tree Protection Area: Do Not Enter."



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Date	Description	By
03-08-17	CON & EIC COMMENTS	EJW
04-28-17	COW COMMENTS	EJW
05-11-17	COW COMMENTS	EJW

Approved Construction Plan

Name	Date
Planning	5/27/17
Traffic	5-23-17
Fire	5/23/17

STORMWATER MANAGEMENT PLAN APPROVED

CITY OF WILMINGTON  
 ENGINEERING DEPARTMENT

DATE 5/26/17 PERMIT # 201402723

SIGNED [Signature]

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**LEGEND**

- [Symbol] FIRE HYDRANT
- [Symbol] WATER VALVE
- [Symbol] PROPOSED WATER
- [Symbol] PROPOSED SEWER
- DRAINAGE EASEMENT=D.E.
- UTILITY EASEMENT=U.E.

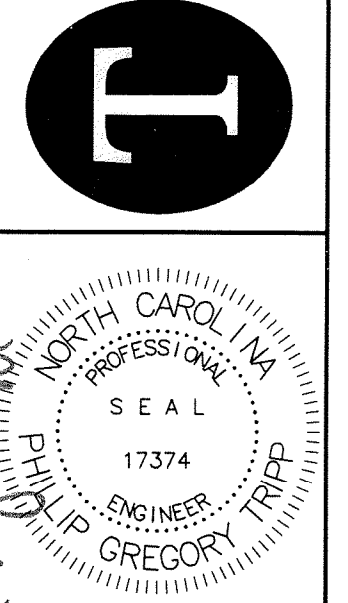
**SITE PLAN**

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UTILITY PLAN  
**FORTUNE PLACE II**  
 WILMINGTON, NORTH CAROLINA

**TRIPP ENGINEERING, P.C.**  
 419 Chestnut Street  
 Wilmington, North Carolina 28401  
 Phone 910-763-5100  
 Fax 910-763-5631  
 © 2015 TRIPP ENGINEERING, P.C.



DATE 12-28-16  
 DESIGN PGT  
 DRAWN EJW

**C3**  
 SHEET 3 OF 9  
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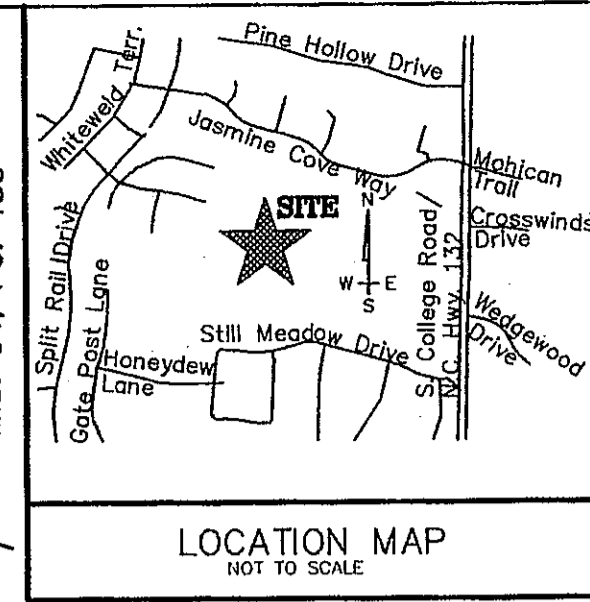
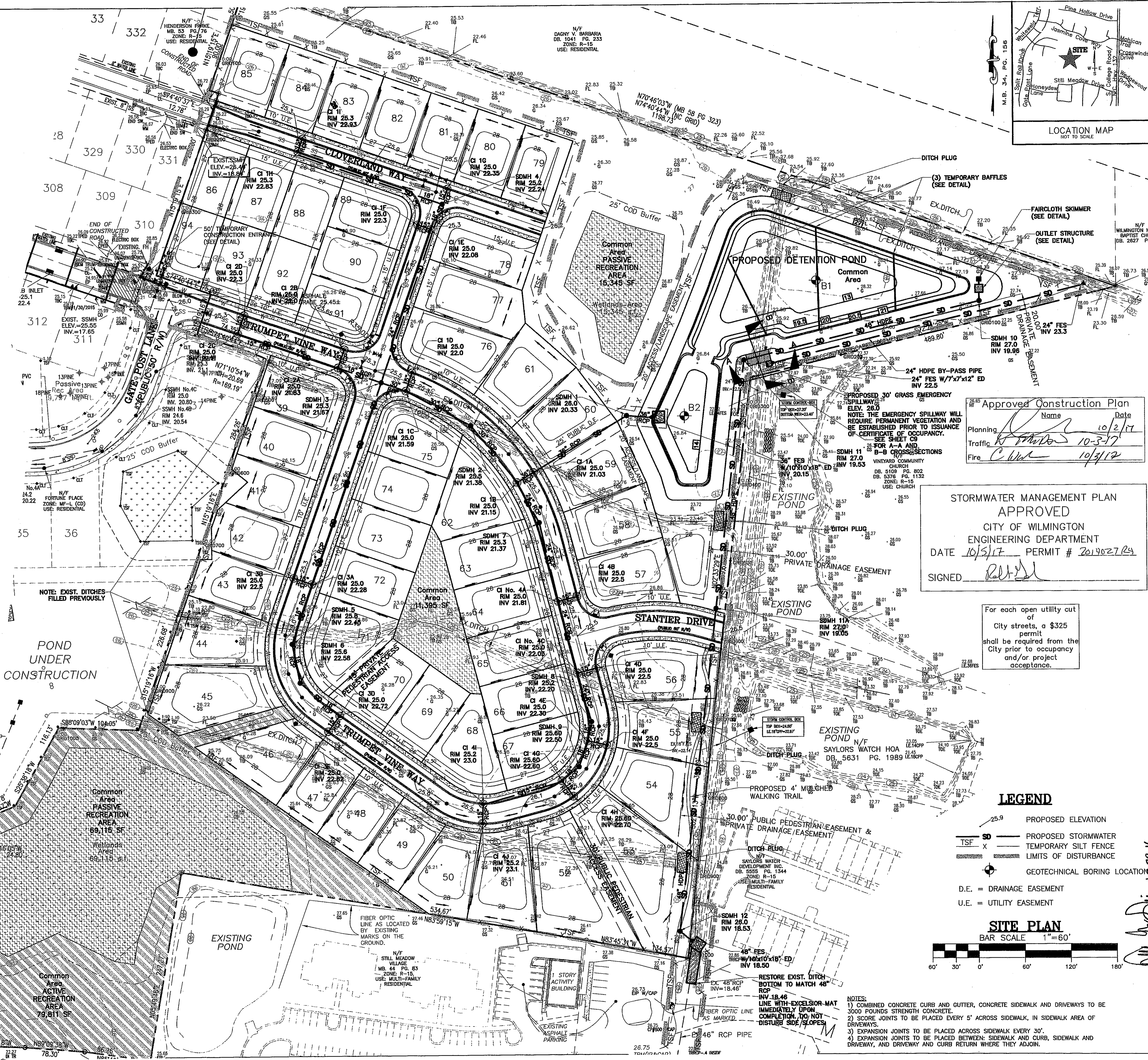
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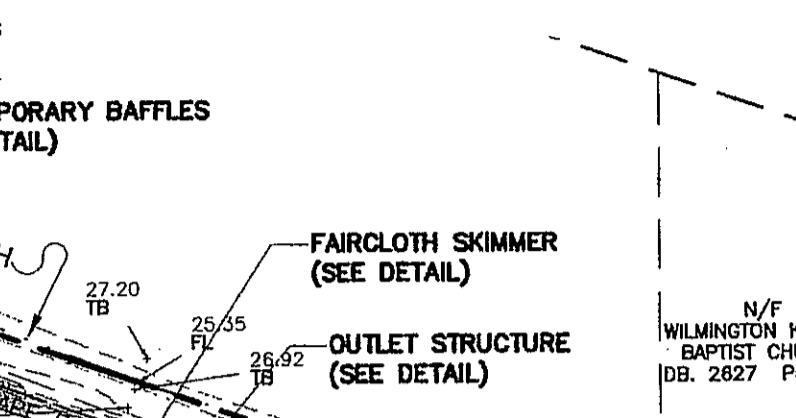
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04-28-17	CON COMMENTS	EJW
05-11-17	CON COMMENTS	EJW
07-31-17	ADDED CONTOURS TREES REMOVED	EJW
08-24-17	CITY STORMWATER COMMENTS	MLV



**STORMWATER MANAGEMENT PLAN**  
 APPROVED  
 CITY OF WILMINGTON  
 ENGINEERING DEPARTMENT  
 DATE 10/3/17 PERMIT # 201902729  
 SIGNED [Signature]

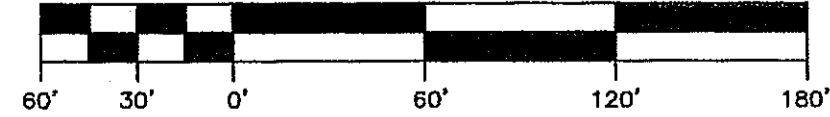
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**LEGEND**

- 25.8 PROPOSED ELEVATION
- SD PROPOSED STORMWATER
- TSF X TEMPORARY SILT FENCE
- LIMITS OF DISTURBANCE
- GEOTECHNICAL BORING LOCATION
- D.E. = DRAINAGE EASEMENT
- U.E. = UTILITY EASEMENT

**SITE PLAN**

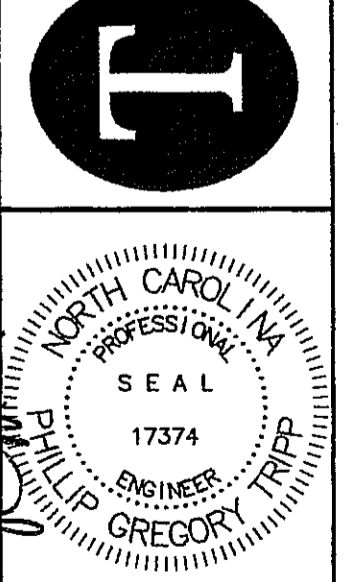
BAR SCALE 1"=60'



- NOTES:**
- 1) COMBINED CONCRETE CURB AND GUTTER, CONCRETE SIDEWALK AND DRIVEWAYS TO BE 3000 POUNDS STRENGTH CONCRETE.
  - 2) SCORE JOINTS TO BE PLACED EVERY 5' ACROSS SIDEWALK, IN SIDEWALK AREA OF DRIVEWAYS.
  - 3) EXPANSION JOINTS TO BE PLACED ACROSS SIDEWALK EVERY 30'.
  - 4) EXPANSION JOINTS TO BE PLACED BETWEEN SIDEWALK AND CURB, SIDEWALK AND DRIVEWAY, AND DRIVEWAY AND CURB RETURN WHERE THEY ADJOIN.

**GRADING, DRAINAGE, EROSION CONTROL AND STORMWATER MANAGEMENT PLAN FORTUNE PLACE II WILMINGTON, NORTH CAROLINA**

**TRIPP ENGINEERING, P.C.**  
 419 Chestnut Street  
 Wilmington, North Carolina 28401  
 Phone 910-763-5100  
 Fax 910-763-5631

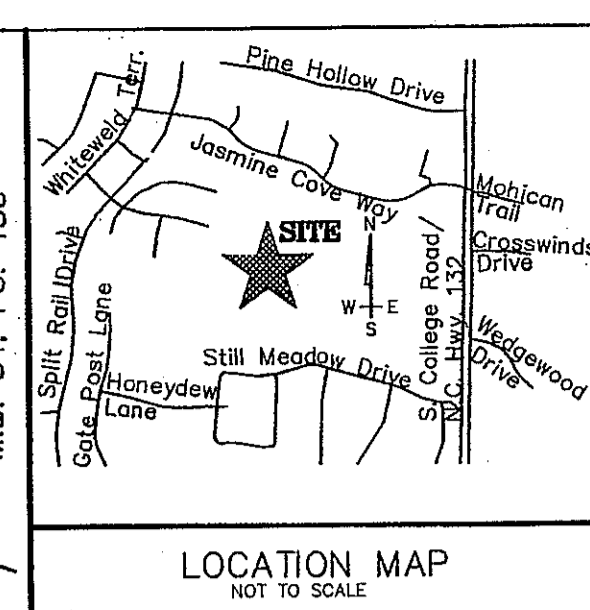


DATE 12-28-16  
 DESIGN PGT  
 DRAWN EJW

**C4**

SHEET 4 OF 9  
 14023

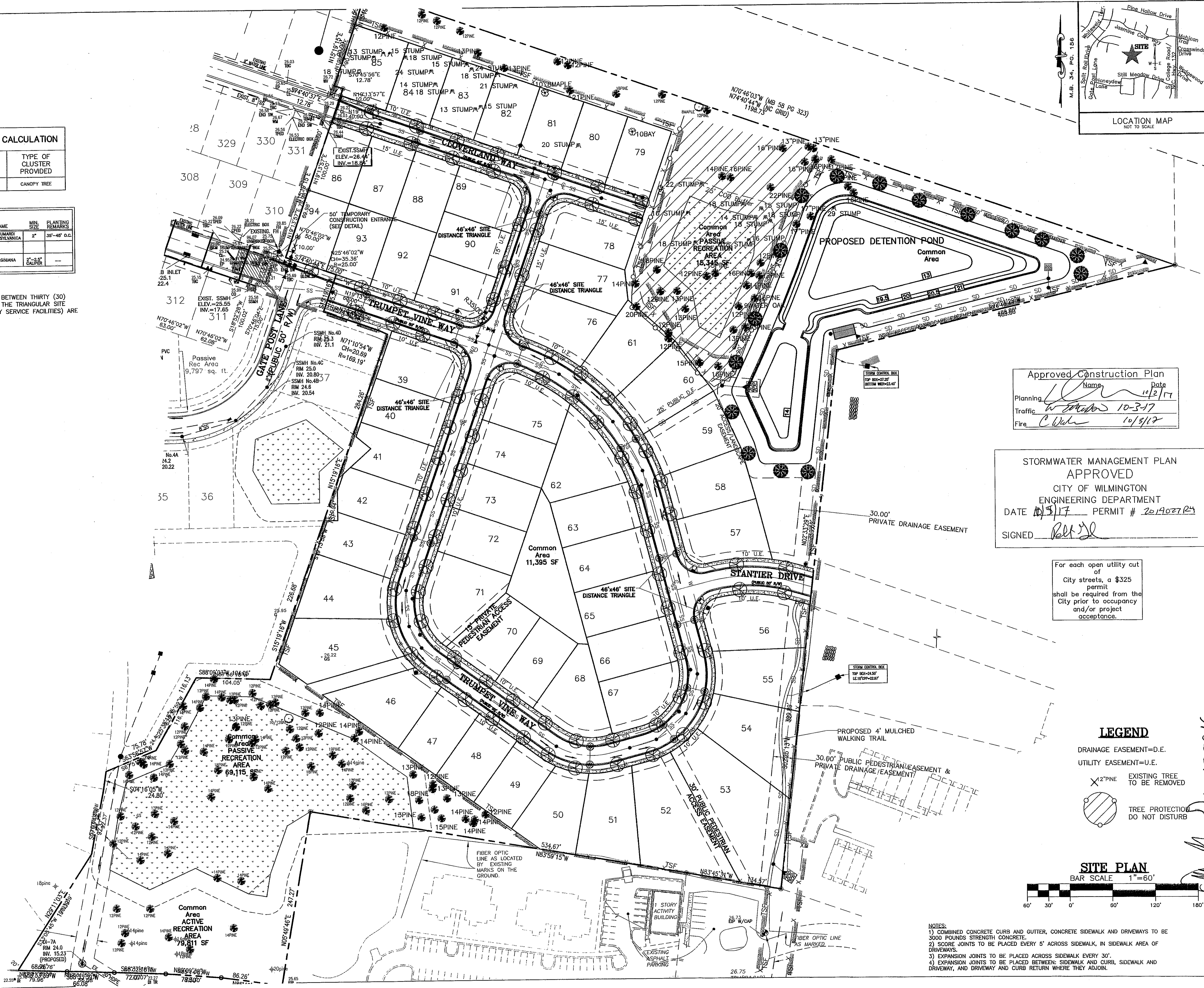
REVISIONS		
Date	Description	By
03-08-17	CDW COMMENTS	EWJ
04-26-17	CDW COMMENTS	EWJ
06-11-17	CDW COMMENTS	EWJ
08-28-17	CDW COMMENTS	MLV



TOP OF BANK LINEAR FOOTAGE	VEGETATION CLUSTERS REQUIRED	VEGETATION CLUSTERS PROVIDED	TYPE OF CLUSTER PROVIDED
1477	1477 / 100 = 14.77	15	CANOPY TREE

SYM. NO.	TYPE	COMMON NAME	SCIENTIFIC NAME	MIN. SIZE	PLANTING REMARKS
LI	TREE	SHUMARD OAK	QUERCUS SIGMATA	2"	35'-45" O.C.
		GREEN ASH	FRAXINUS PENNSYLVANICA		
QV	TREE	LIVE OAK	QUERCUS VIRGINIANA	2 1/2"	35'-45" O.C.

NOTE:  
1. NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SITE DISTANCE. PROPOSED BACKFLOW BOXES (AND ALL UTILITY SERVICE FACILITIES) ARE LESS THAN 30" IN HEIGHT.



Approved Construction Plan

Name: \_\_\_\_\_ Date: 10/3/17

Planning: \_\_\_\_\_

Traffic: \_\_\_\_\_ 10-3-17

Fire: \_\_\_\_\_ 10/3/17

STORMWATER MANAGEMENT PLAN APPROVED

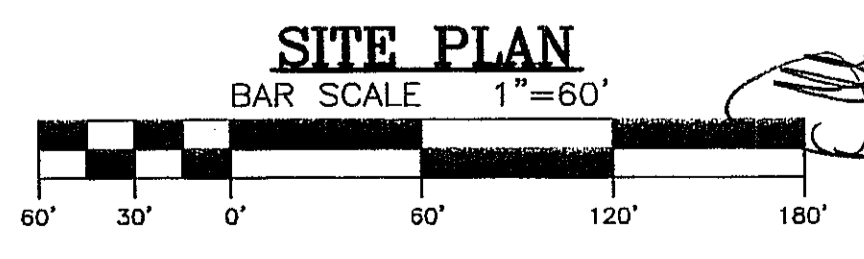
CITY OF WILMINGTON  
ENGINEERING DEPARTMENT

DATE 10/3/17 PERMIT # 201902724

SIGNED: *[Signature]*

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

- LEGEND**
- DRAINAGE EASEMENT=D.E.
  - UTILITY EASEMENT=U.E.
  - X 12" PINE EXISTING TREE TO BE REMOVED
  - (Circle with X) TREE PROTECTION DO NOT DISTURB



- NOTES:
- 1) COMBINED CONCRETE CURB AND GUTTER, CONCRETE SIDEWALK AND DRIVEWAYS TO BE 3000 POUNDS STRENGTH CONCRETE.
  - 2) SCORE JOINTS TO BE PLACED EVERY 5' ACROSS SIDEWALK, IN SIDEWALK AREA OF DRIVEWAYS.
  - 3) EXPANSION JOINTS TO BE PLACED ACROSS SIDEWALK EVERY 30'.
  - 4) EXPANSION JOINTS TO BE PLACED BETWEEN SIDEWALK AND CURB, SIDEWALK AND DRIVEWAY, AND DRIVEWAY AND CURB RETURN WHERE THEY ADJOIN.

LANDSCAPE PLAN

TRIPP ENGINEERING, P.C.

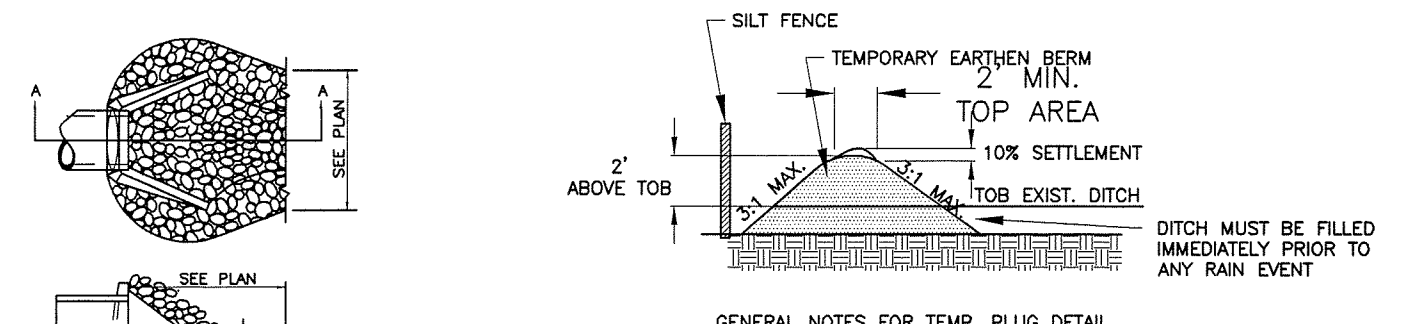
419 Chestnut Street  
Wilmington, North Carolina 28401  
Phone 910-763-5100  
Fax 910-763-6631

DATE 12-28-16  
DESIGN PGT  
DRAWN EJW

C5

SHEET 5 OF 9

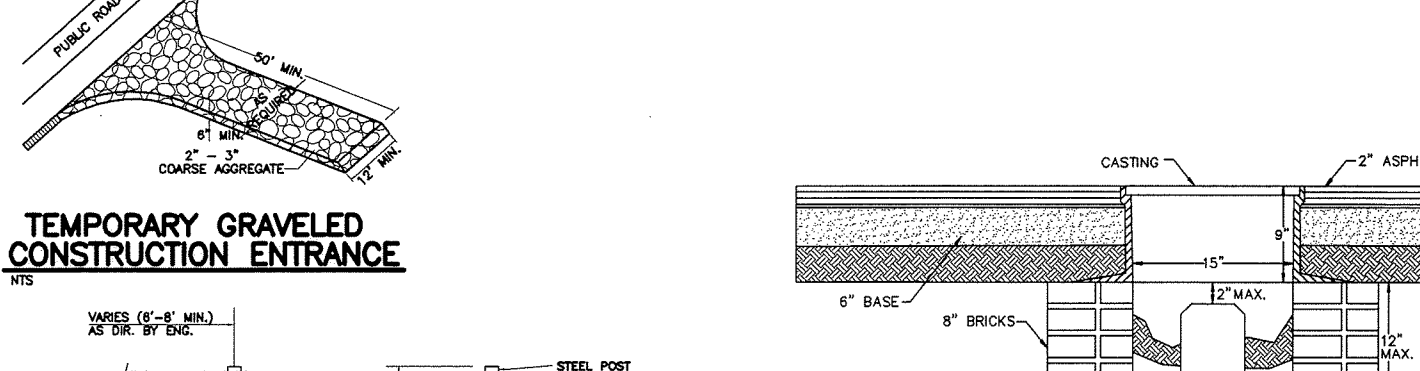
14023



**ENERGY DISSIPATOR**  
NTS

GENERAL NOTES FOR TEMP. PLUG DETAIL  
1. BUILD RIDGE HIGHER THAN DESIGN AND COMPACT WITH WHEELS OF CONSTRUCTION EQUIPMENT. COMPACTED RIDGE MUST BE AT OR ABOVE DESIGN GRADE AT ALL POINTS.  
2. LEAVE SUFFICIENT AREA TO PERMIT CLEAN OUT AND REGRADING.  
3. CONSTRUCT SILT FENCE ON DOWN STREAM SIDE OF BERM.

**TEMPORARY PLUG DETAIL**  
NTS

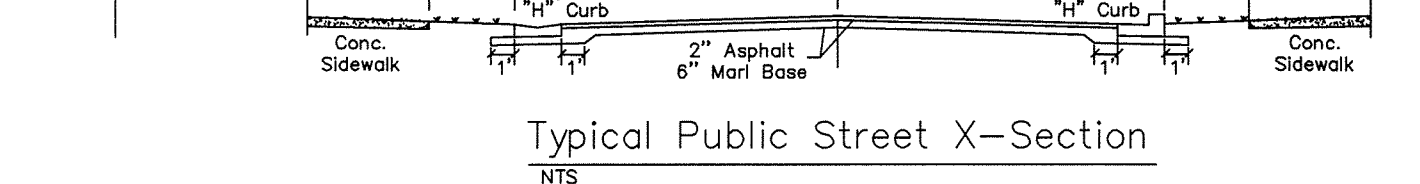


**TEMPORARY GRAVELLED CONSTRUCTION ENTRANCE**  
NTS

**MONUMENT BASE DETAIL**  
18-01 NTS

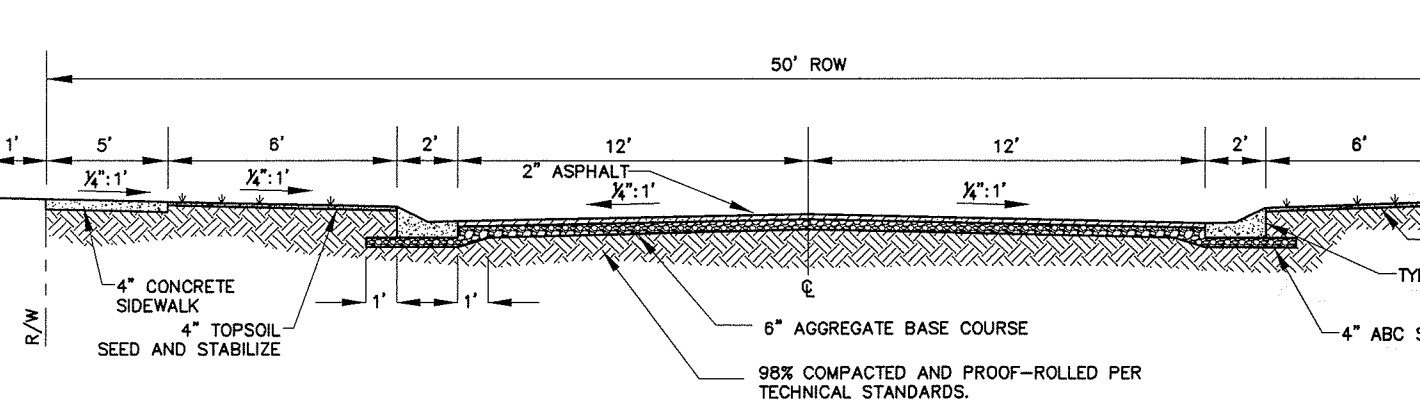


**TEMPORARY SILT FENCE**  
NTS

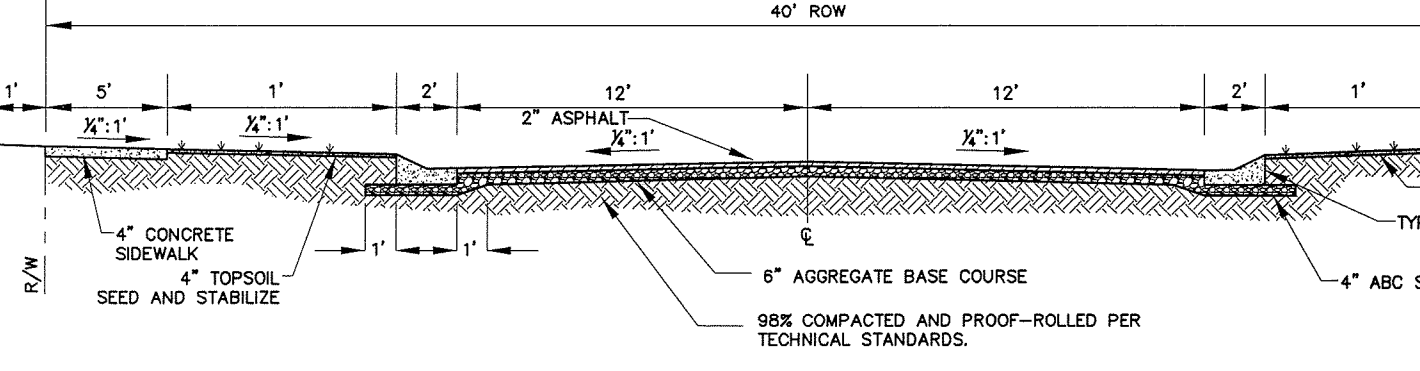


**Typical Public Street X-Section**  
NTS

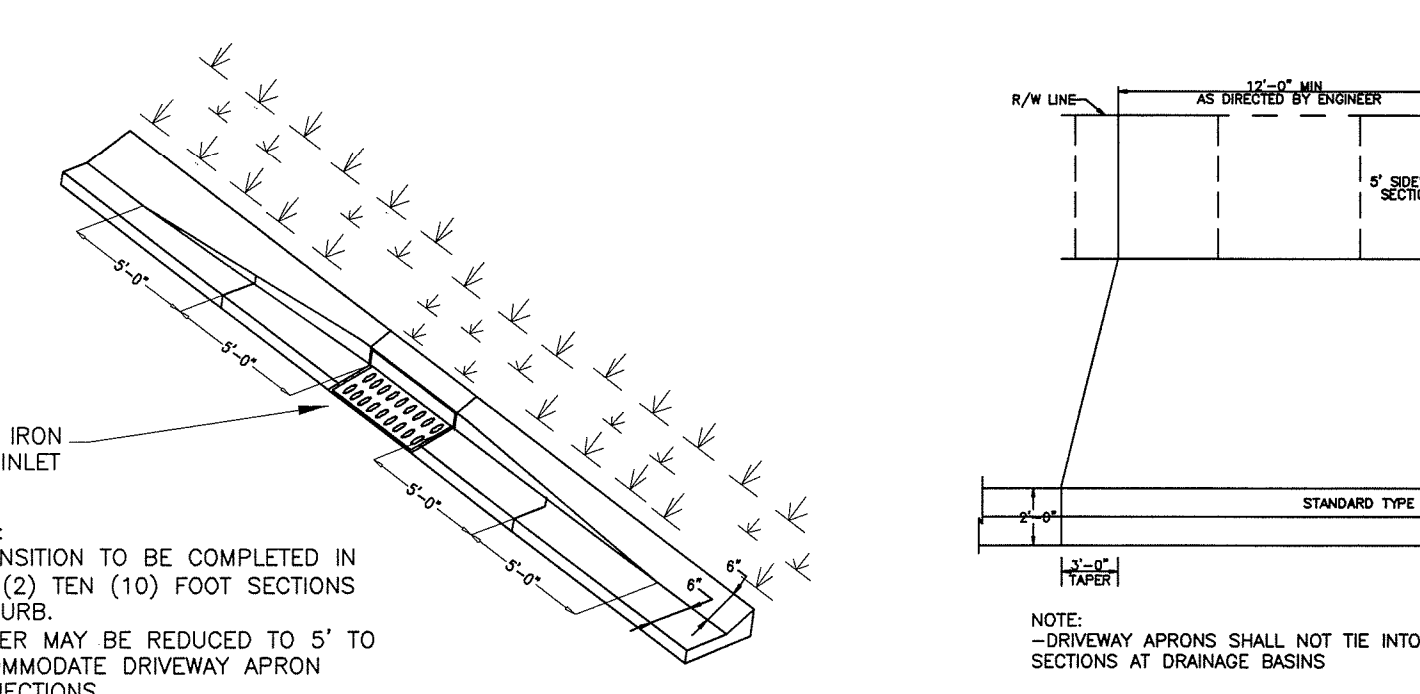
Street Dimensions:  
Trumpet Vine Way = 50' R/W / 24' Asphalt  
Cloverleaf Way = 40' R/W / 24' Asphalt  
\*\* Streets to be posted for "No On-Street Parking" \*\*



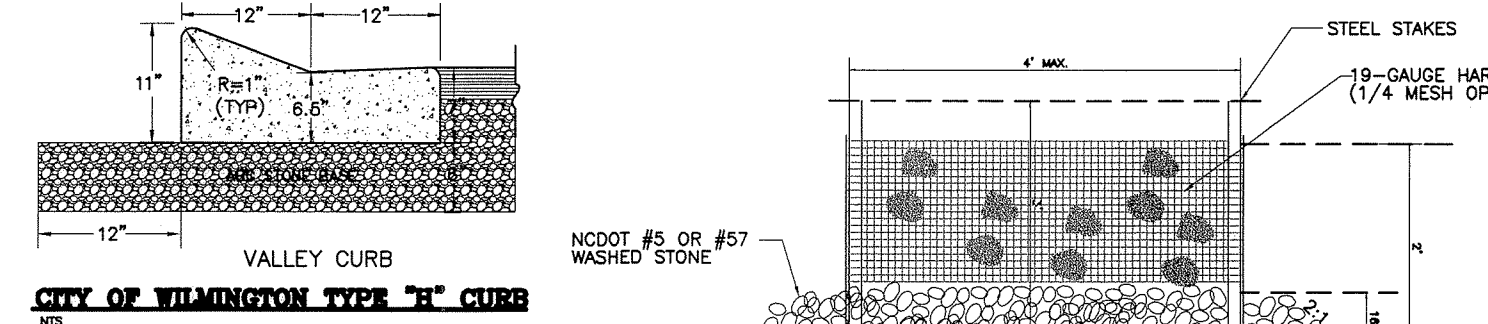
**STREET SECTION-CROWN W/VALLEY CURB**  
NTS



**STREET SECTION-CROWN W/VALLEY CURB**  
NTS



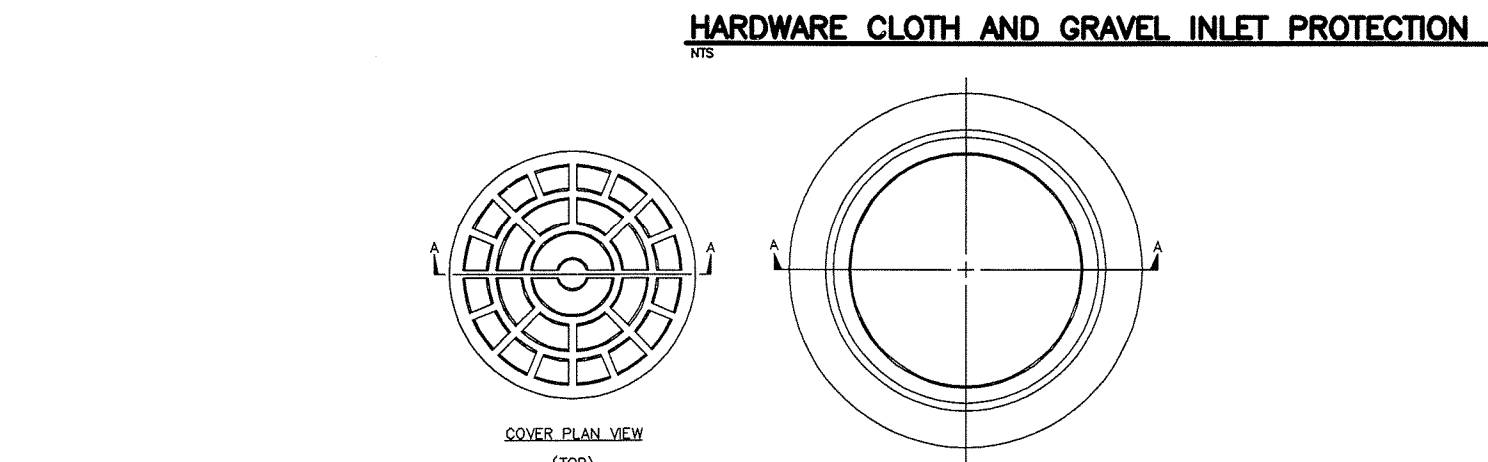
**TYPE 'H' CURBING AROUND FACE BASIN TRANSITION SECTION**  
NOT TO SCALE



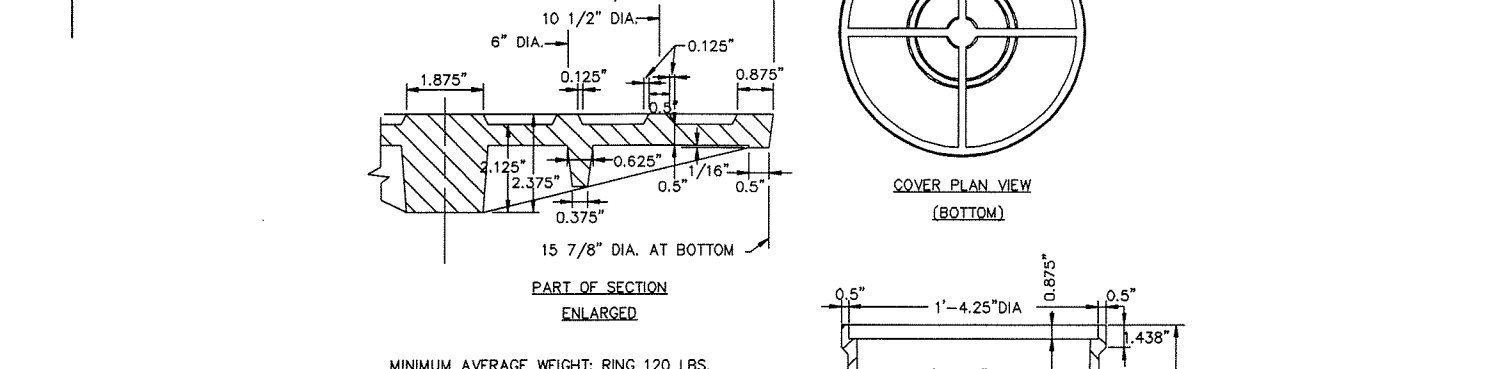
**CITY OF WILMINGTON TYPE 'H' CURB**  
NTS

**CONSTRUCTION SPECIFICATIONS:**

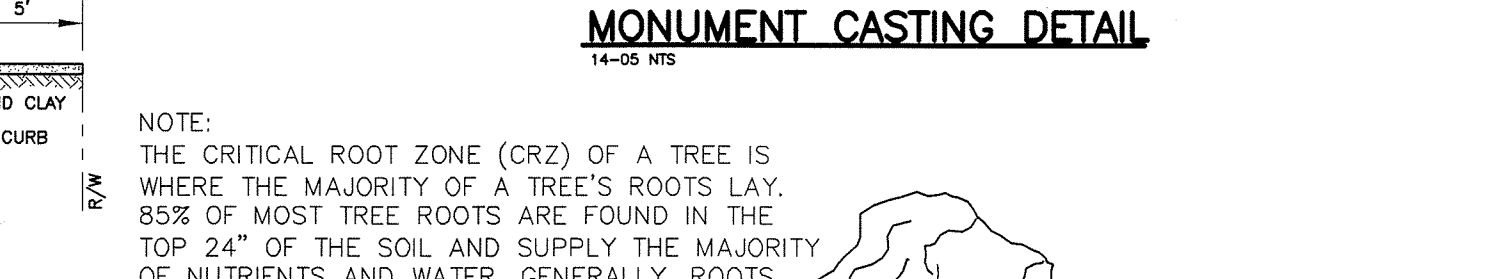
- UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING THE INLET.
- DRIVE 5-FOOT STEEL POSTS 2 FEET INTO THE GROUND SURROUNDING THE INLET. SPACE POSTS EVENLY AROUND EACH SIGNIFICANT (1/4 INCH OR GREATER) EACH SIGNIFICANT (1/4 INCH OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED.
- ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDIMENT, AND ESTABLISH FINAL GRADING ELEVATIONS.
- COMPACT THE AREA PROPERLY AND STABILIZED IT WITH GROUND COVER.



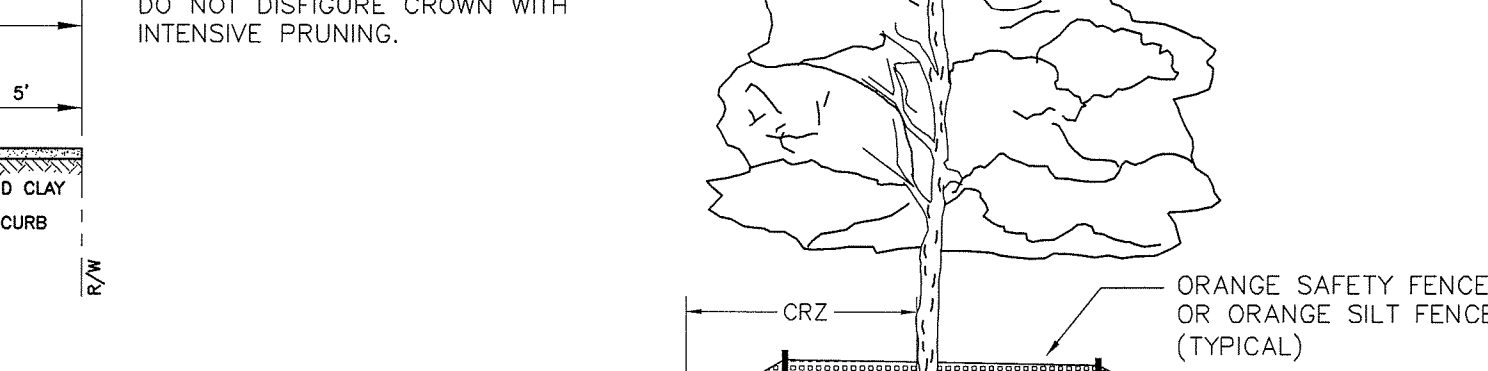
**HARDWARE CLOTH AND GRAVEL INLET PROTECTION**  
NTS



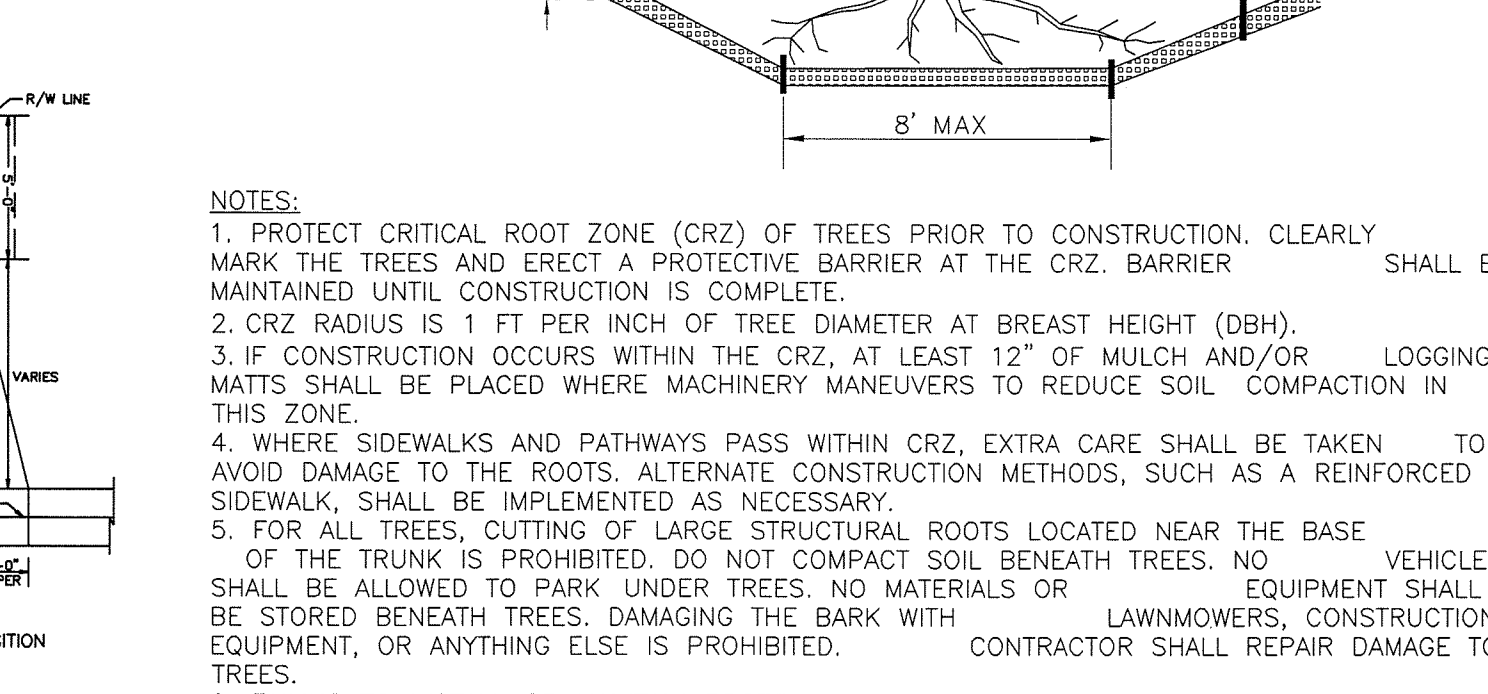
**TREE PROTECTION DURING CONSTRUCTION SD 15-09**  
NOT TO SCALE



**MONUMENT CASTING DETAIL**  
14-05 NTS

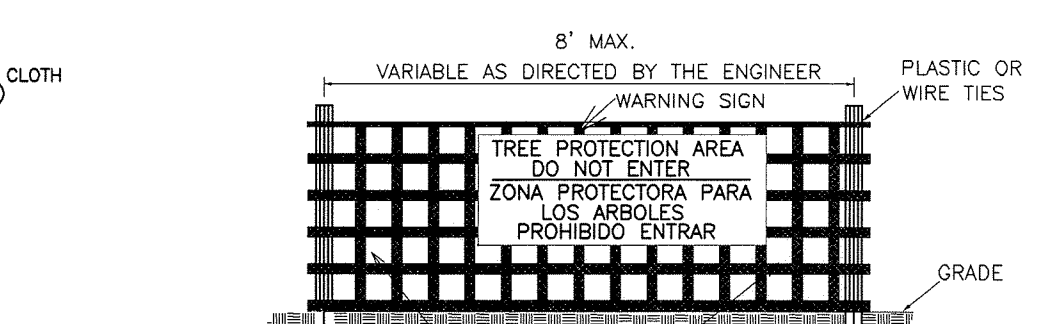


**MINOR STREET WITH VALLEY CURB (SECTION AND CROWN)**  
SD 3-01.8



**STANDARD DETAIL**  
SD 3-10

**STORMWATER MANAGEMENT PLAN APPROVED**  
CITY OF WILMINGTON  
ENGINEERING DEPARTMENT  
DATE 5/24/17 PERMIT # 2019027R3  
SIGNED [Signature]



**SPRING-SUMMER PERMANENT GRASSING DETAIL**  
NTS

**SEEDING MIXTURE**

SPECIES	RATE (lb/acre)
BERMUDA GRASS	10
SEEDING MIXTURE	10
GERMAN MILLET	10
TRIFOLIUM	10

**SEEDING NOTES**

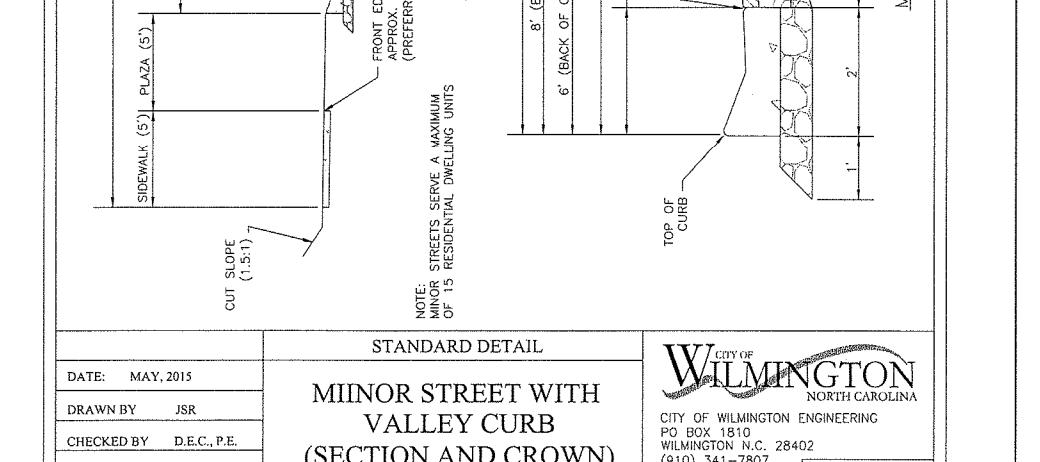
- REFER TO SD 15-09 FOR SEEDING, SOIL TESTS, AND FERTILIZER APPLICATION.
- USE COMMON BERMUDA GRASS ONLY ON SLOPES WHERE IT CANNOT BE REPLACED BY A PEST. BERMUDA GRASS MAY BE REPLACED WITH 5 lb/acre CENTAUREA GRASS.

**SEEDING DATES**  
APRIL - JULY 15

**SOIL AMENDMENTS**  
APPLY 1.000 LB/ACRE NITROGEN AND 500 LB/ACRE PHOSPHORUS TO ALL AREAS TO BE GRASSED.

**MULCH**  
APPLY 4.000 LB/ACRE GRANULAR MULCH TO ALL AREAS TO BE GRASSED.

**MAINTENANCE**  
REFER TO SD 15-09 FOR MAINTENANCE REQUIREMENTS.



**FALL-WINTER PERMANENT GRASSING DETAIL**  
NTS

**SEEDING MIXTURE**

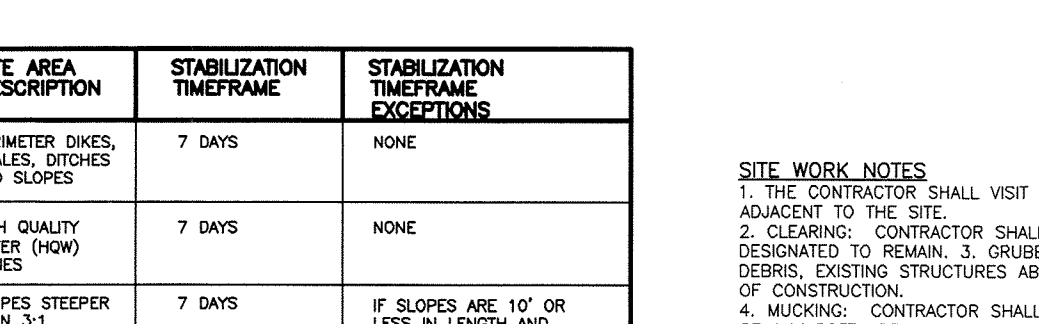
SPECIES	RATE (lb/acre)
RYE GRASS	20
BERMUDA GRASS	20

**SEEDING DATES**  
MOUNTAINS - AUG. 15-DEC. 15  
PLEASANT - JAN. 1-MAY 15  
COASTAL PLAIN - APR. 15-AUG. 15

**SOIL AMENDMENTS**  
APPLY 1.000 LB/ACRE NITROGEN AND 500 LB/ACRE PHOSPHORUS TO ALL AREAS TO BE GRASSED.

**MULCH**  
APPLY 4.000 LB/ACRE GRANULAR MULCH TO ALL AREAS TO BE GRASSED.

**MAINTENANCE**  
REFER TO SD 15-09 FOR MAINTENANCE REQUIREMENTS.



**NPDES GROUND STABILIZATION CRITERIA**  
NTS

**SEEDING MIXTURE**

SPECIES	RATE (lb/acre)
RYE GRASS	20
BERMUDA GRASS	20

**SEEDING NOTES**

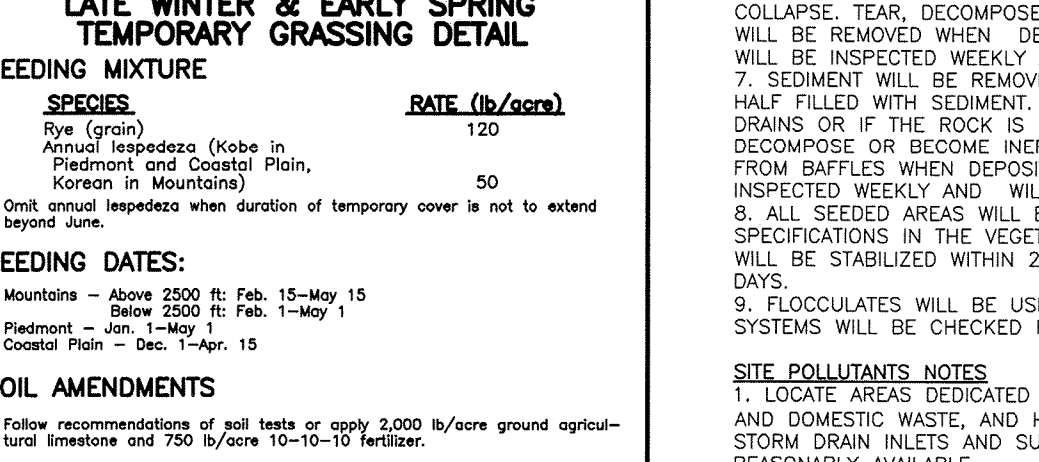
- REFER TO SD 15-09 FOR SEEDING, SOIL TESTS, AND FERTILIZER APPLICATION.
- USE COMMON BERMUDA GRASS ONLY ON SLOPES WHERE IT CANNOT BE REPLACED BY A PEST. BERMUDA GRASS MAY BE REPLACED WITH 5 lb/acre CENTAUREA GRASS.

**SEEDING DATES**  
APRIL - JULY 15

**SOIL AMENDMENTS**  
APPLY 1.000 LB/ACRE NITROGEN AND 500 LB/ACRE PHOSPHORUS TO ALL AREAS TO BE GRASSED.

**MULCH**  
APPLY 4.000 LB/ACRE GRANULAR MULCH TO ALL AREAS TO BE GRASSED.

**MAINTENANCE**  
REFER TO SD 15-09 FOR MAINTENANCE REQUIREMENTS.



**LATE WINTER & EARLY SPRING TEMPORARY GRASSING DETAIL**  
NTS

**SEEDING MIXTURE**

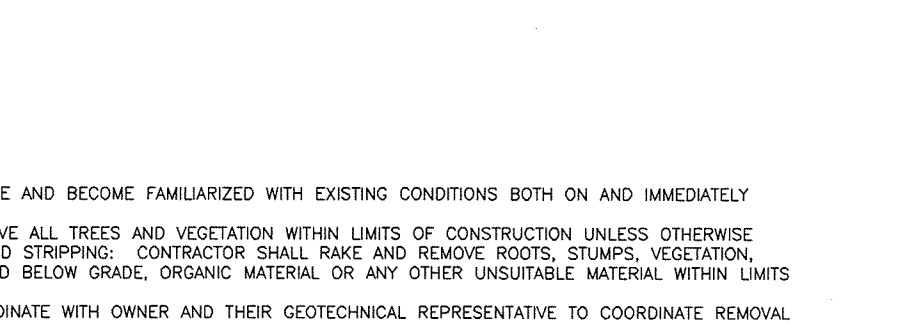
SPECIES	RATE (lb/acre)
RYE GRASS	20
BERMUDA GRASS	20

**SEEDING DATES**  
MOUNTAINS - AUG. 15-DEC. 15  
PLEASANT - JAN. 1-MAY 15  
COASTAL PLAIN - APR. 15-AUG. 15

**SOIL AMENDMENTS**  
APPLY 1.000 LB/ACRE NITROGEN AND 500 LB/ACRE PHOSPHORUS TO ALL AREAS TO BE GRASSED.

**MULCH**  
APPLY 4.000 LB/ACRE GRANULAR MULCH TO ALL AREAS TO BE GRASSED.

**MAINTENANCE**  
REFER TO SD 15-09 FOR MAINTENANCE REQUIREMENTS.



**TEMPORARY FALL GRASSING DETAIL**  
NTS

**SEEDING MIXTURE**

SPECIES	RATE (lb/acre)
RYE GRASS	20
BERMUDA GRASS	20

**SEEDING NOTES**

- REFER TO SD 15-09 FOR SEEDING, SOIL TESTS, AND FERTILIZER APPLICATION.
- USE COMMON BERMUDA GRASS ONLY ON SLOPES WHERE IT CANNOT BE REPLACED BY A PEST. BERMUDA GRASS MAY BE REPLACED WITH 5 lb/acre CENTAUREA GRASS.

**SEEDING DATES**  
MOUNTAINS - AUG. 15-DEC. 15  
PLEASANT - JAN. 1-MAY 15  
COASTAL PLAIN - APR. 15-AUG. 15

**SOIL AMENDMENTS**  
APPLY 1.000 LB/ACRE NITROGEN AND 500 LB/ACRE PHOSPHORUS TO ALL AREAS TO BE GRASSED.

**MULCH**  
APPLY 4.000 LB/ACRE GRANULAR MULCH TO ALL AREAS TO BE GRASSED.

**MAINTENANCE**  
REFER TO SD 15-09 FOR MAINTENANCE REQUIREMENTS.

Date	Description	By
03-08-17	REVISED	EJW
05-11-17	ADDED 3-01.8 DETAIL	EJW
05-16-17	ADDED MONUMENT DETAILS	EJW

**TRIPP ENGINEERING, P.C.**  
419 Chestnut Street  
Wilmington, North Carolina 28401  
Phone 910-763-5100  
Fax 910-763-5631

**FORTUNE PLACE II**  
NEW HANOVER COUNTY, NORTH CAROLINA

**REVISIONS**

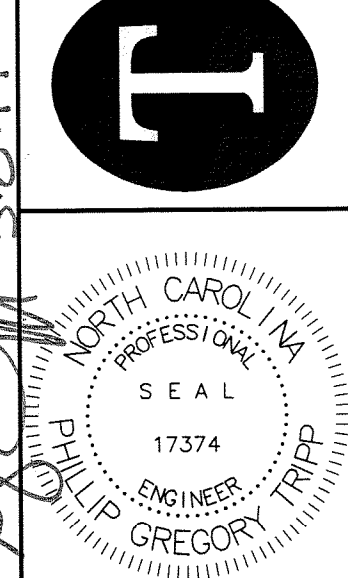
Date	Description	By
12-28-16 <td>DATE</td> <td>PGT</td>	DATE	PGT
	DRAWN	EJW

**C8**  
SHEET 8 OF 9  
14023

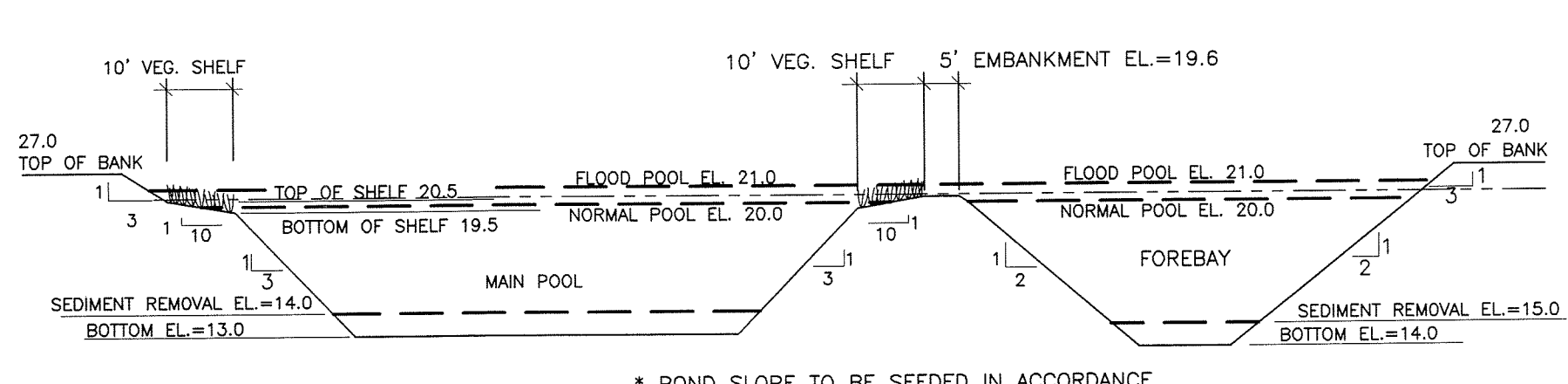
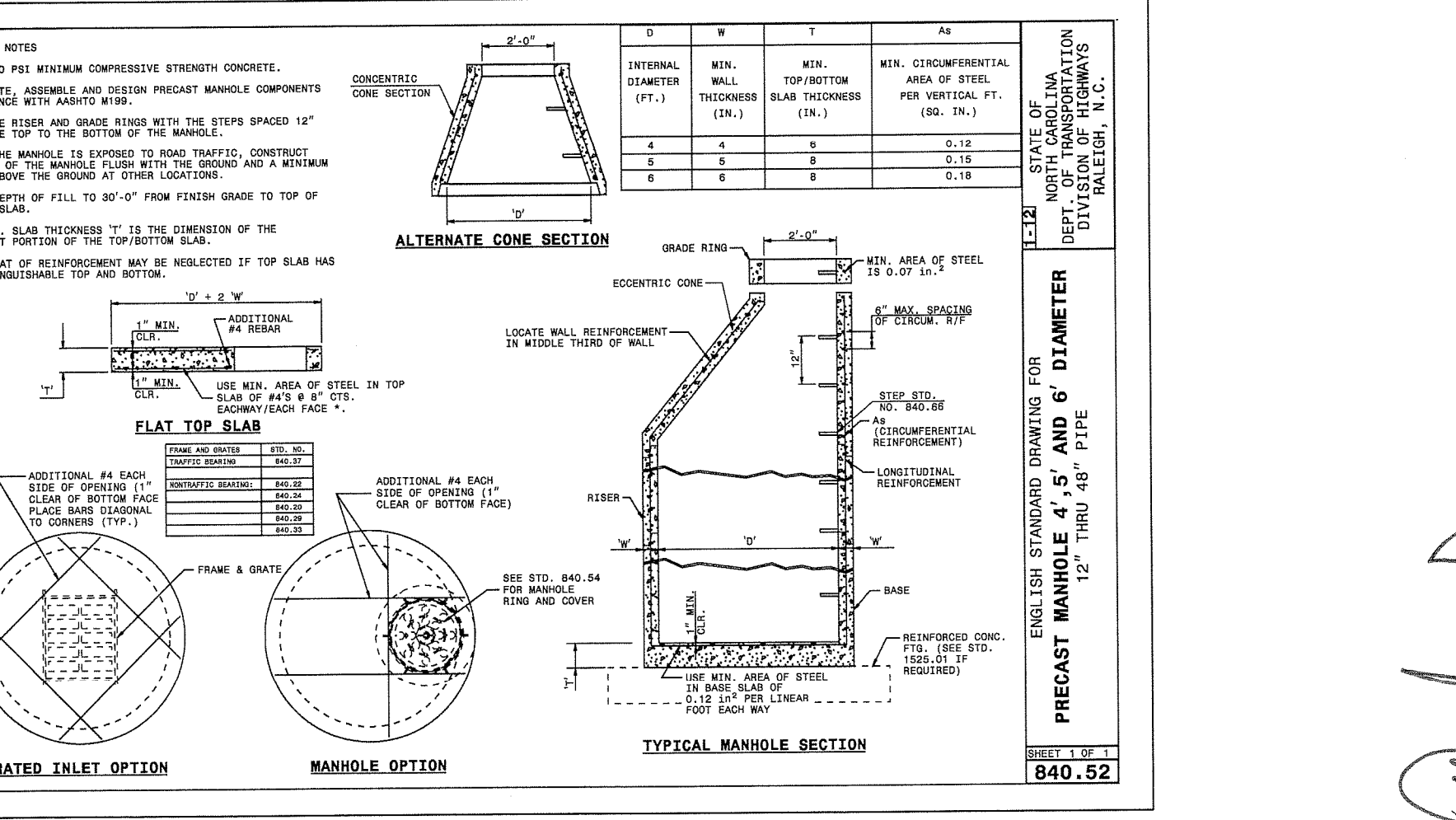
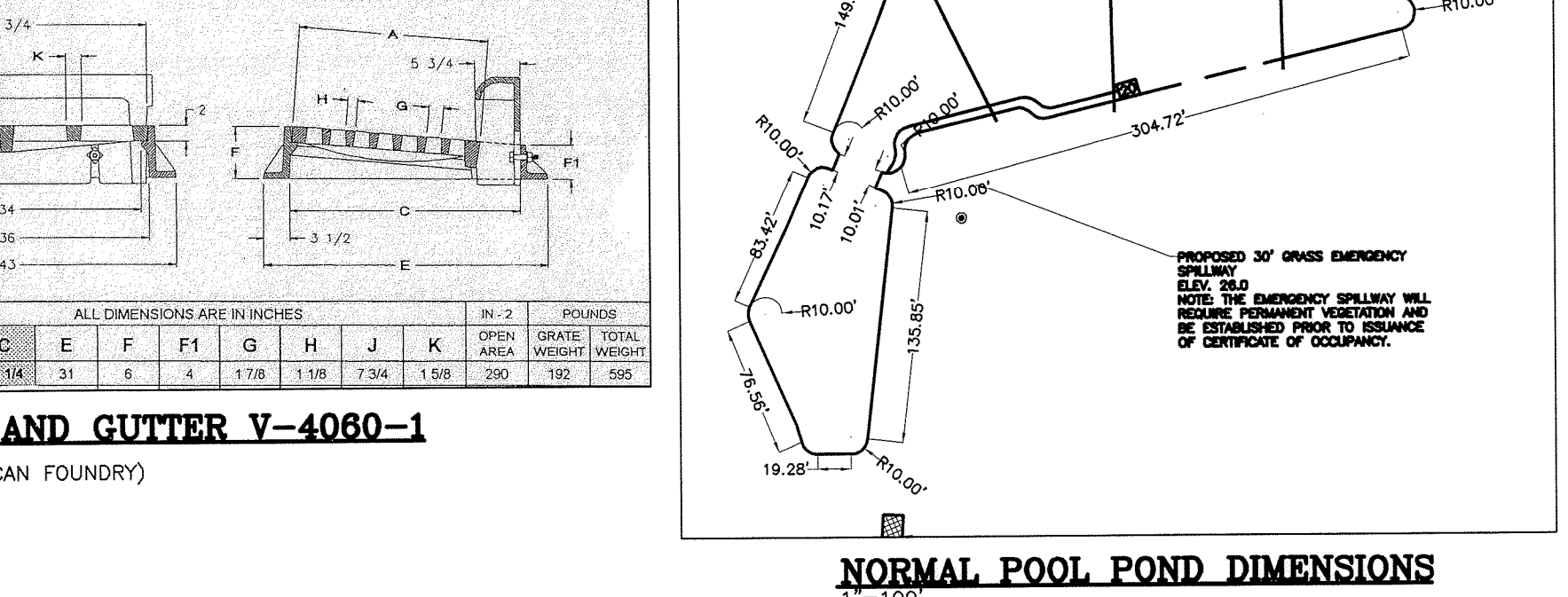
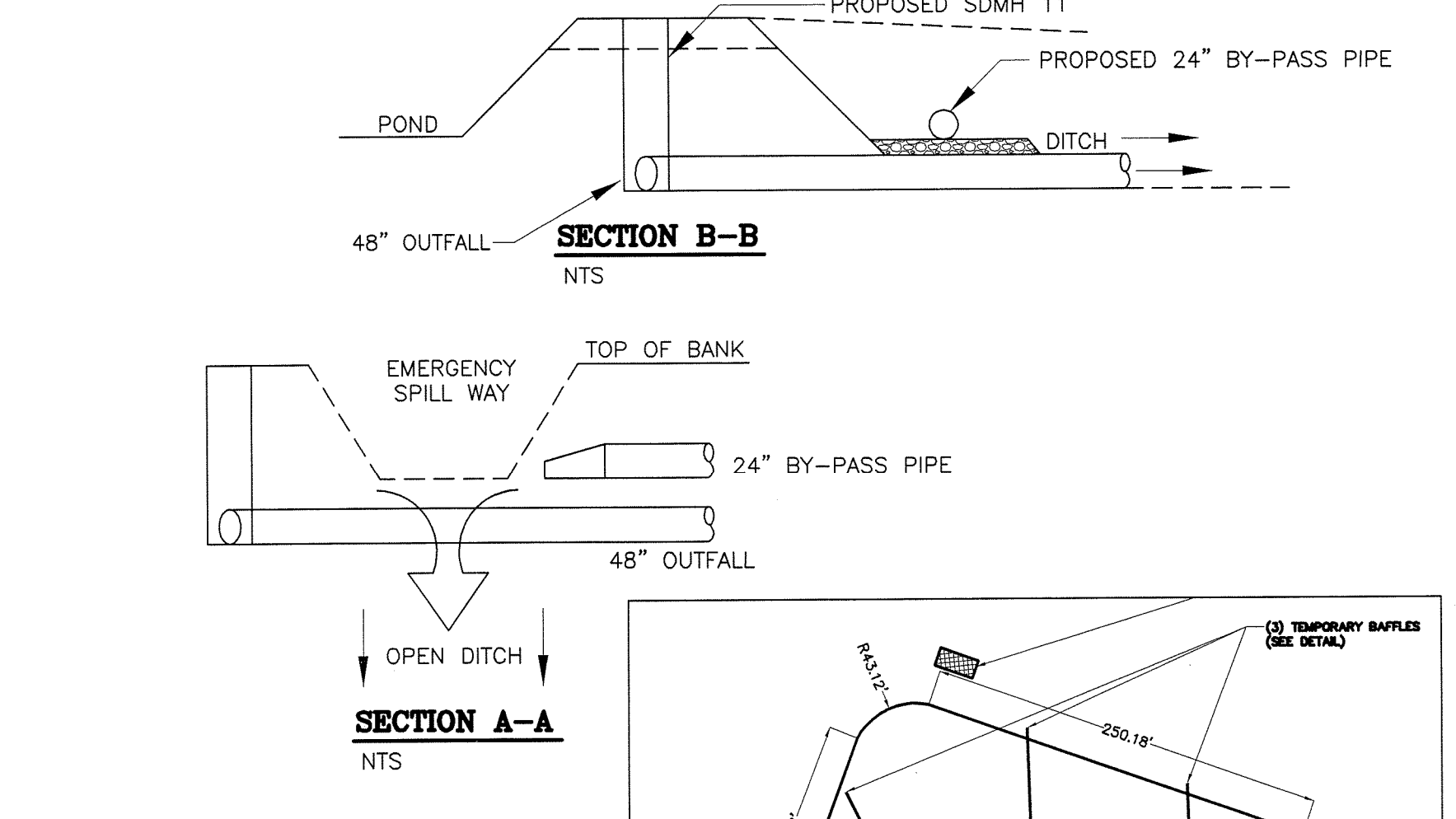
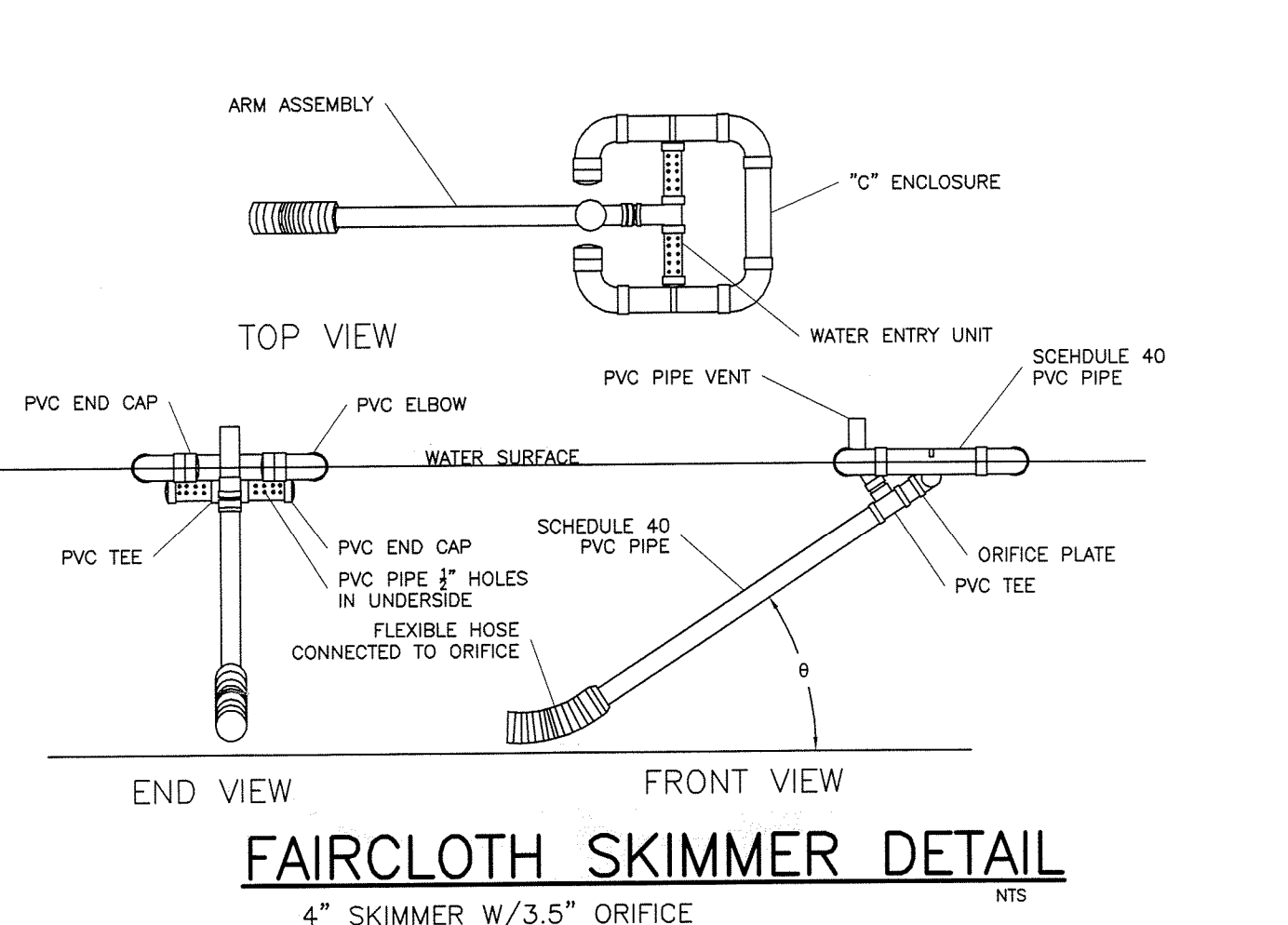
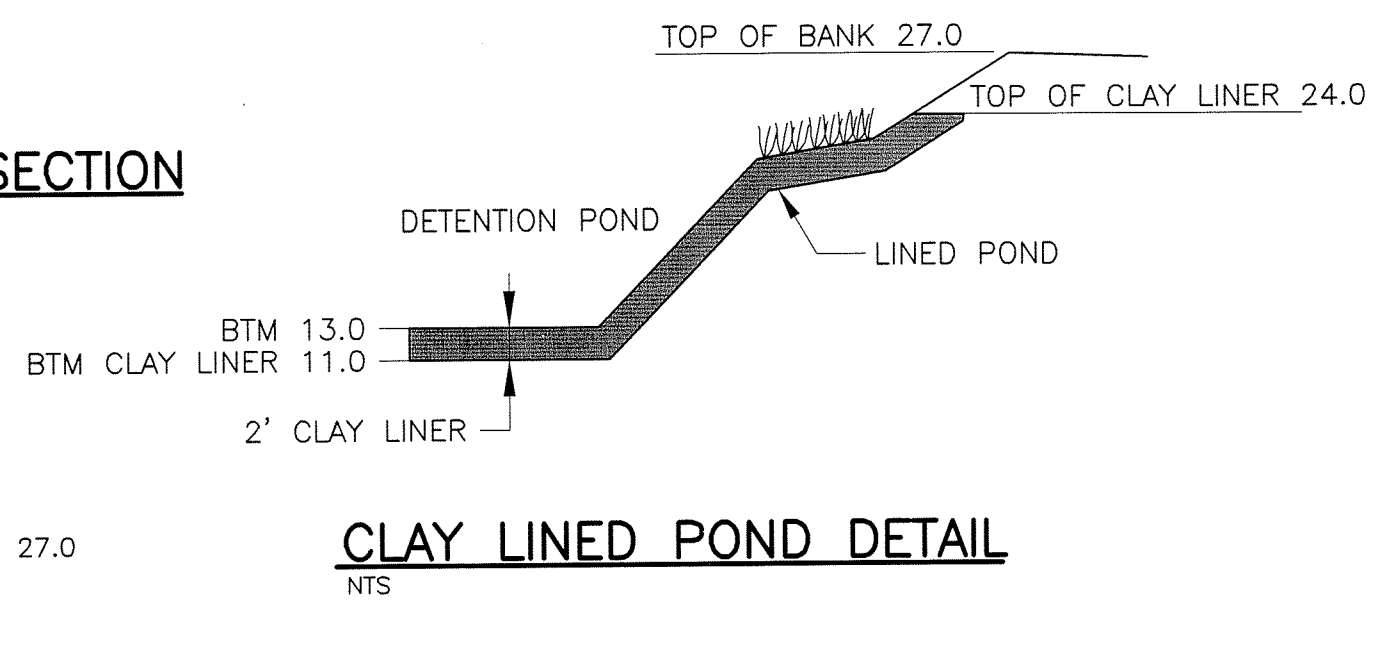
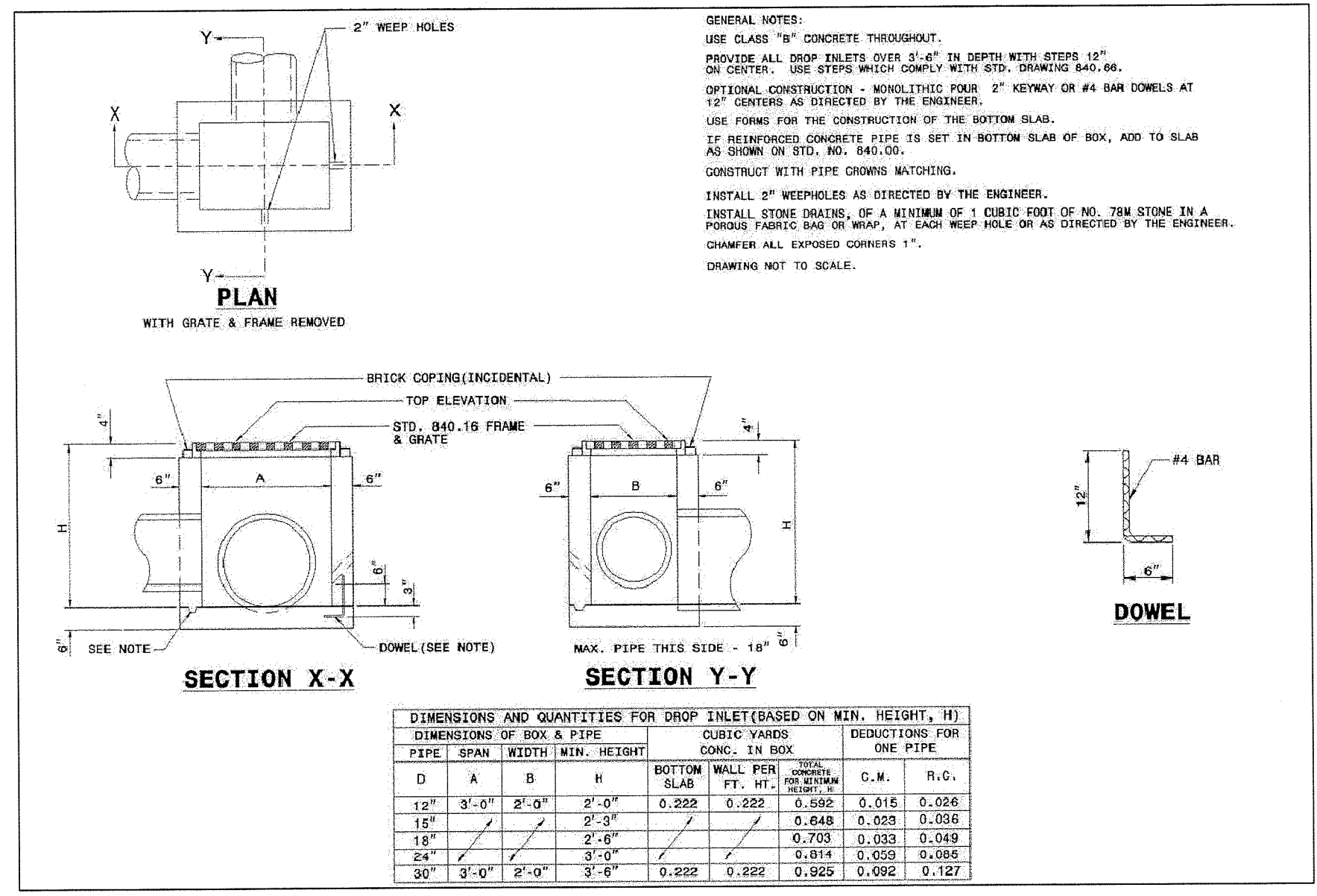
REVISIONS		
Date	Description	By
03-08-17	COW & EC COMMENTS	EJW

DETAILS AND NOTES  
**FORTUNE PLACE II**  
 NEW HANOVER COUNTY, NORTH CAROLINA

**TRIPP ENGINEERING, P.C.**  
 419 Chestnut Street  
 Wilmington, North Carolina 28401  
 Phone 910-763-5100  
 Fax 910-763-5631  
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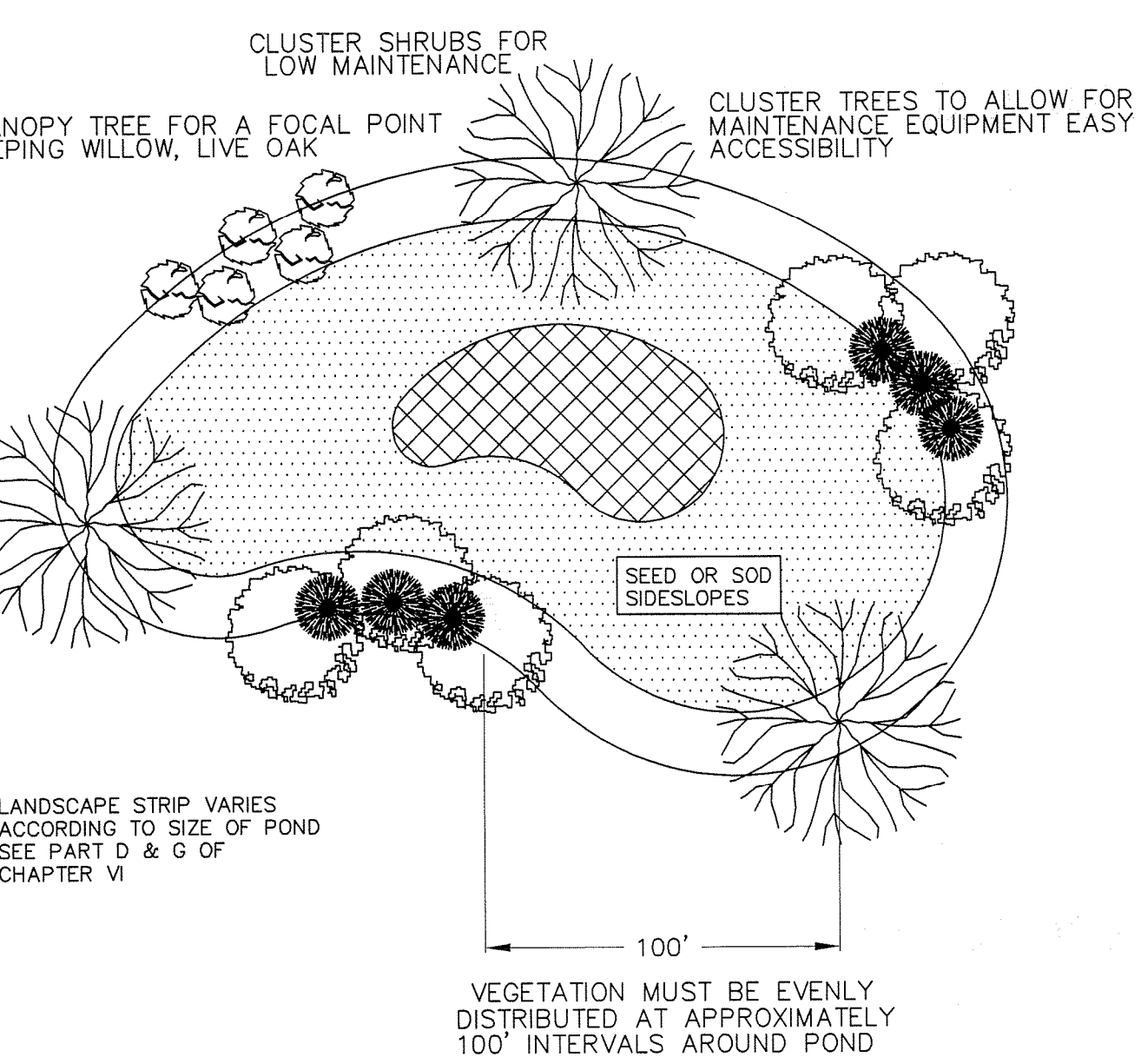
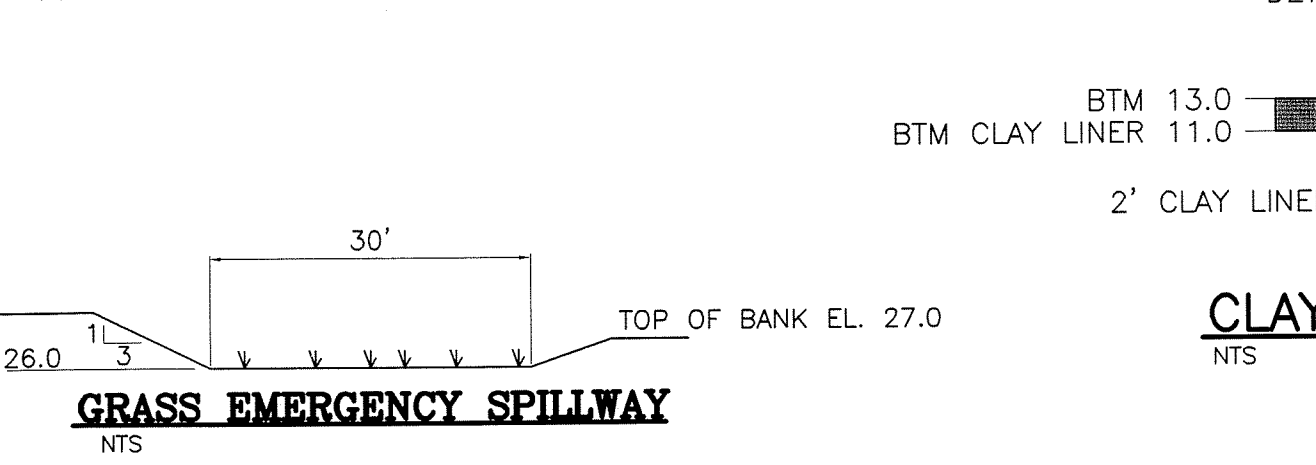


DATE 03-08-17  
 DESIGN PGT  
 DRAWN EJW  
**C9**  
 SHEET 9 OF 9  
 14023



**DETENTION POND & FOREBAY SECTION**  
 NTS

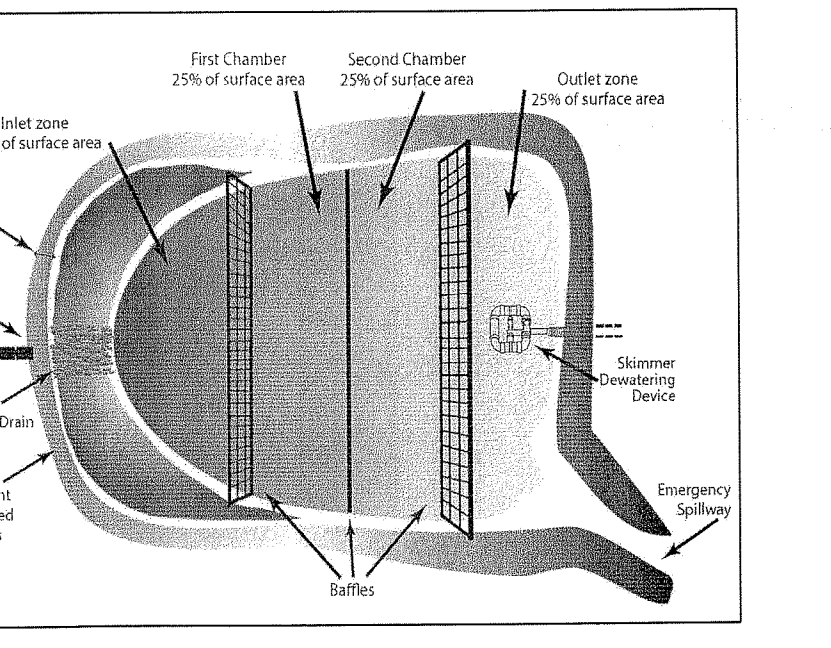
- POND SLOPE TO BE SEEDED IN ACCORDANCE TO SEEDING SPECIFICATIONS
- A PUMP WILL BE PROVIDED TO DRAIN THE BASIN FOR MAINTENANCE AND EMERGENCIES
- SEE TYPICAL VEGETATED SHELF LANDSCAPING DETAIL
- PERMANENT VEGETATED STABILIZATION OF THE POND SIDESLOPES WILL BE REQUIRED PRIOR TO FINAL INSPECTION.



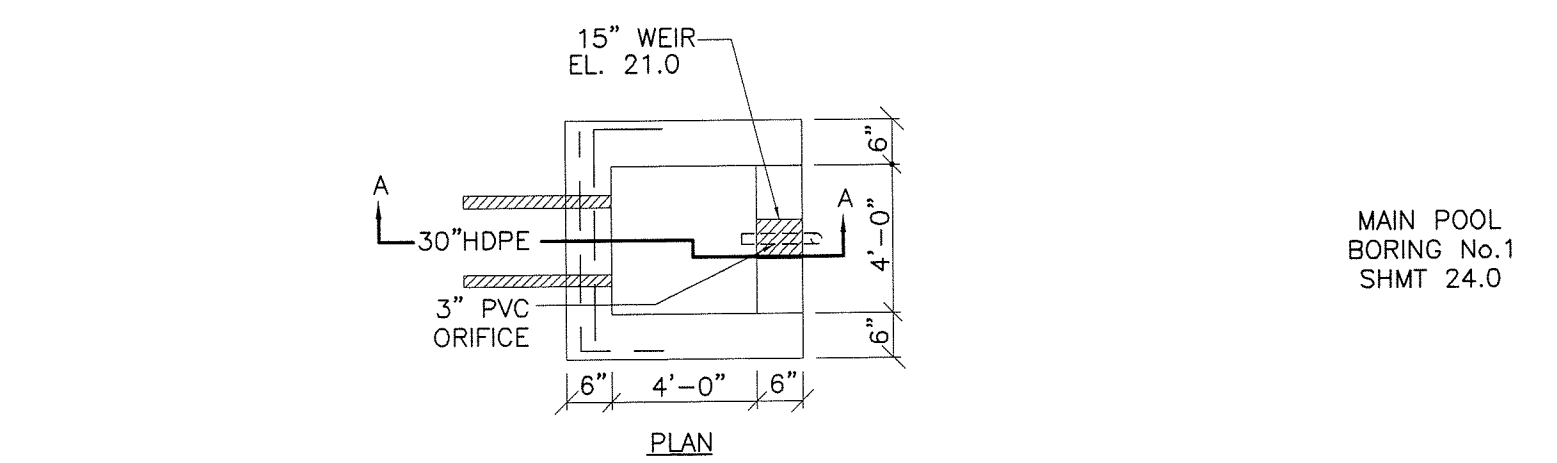
**TYPICAL CITY OF WILMINGTON STORMWATER FACILITY LANDSCAPING PLAN**  
 NTS (SD 15-16)

Notes:  
 1. If possible, locate pond where vegetation exists.  
 2. Suggest minimal clearing to conserve visual quality of site and minimize the additional of tree planting. An irregular shape provides a more natural appearance.  
 3. Landscape strip shall be a maximum slope of 7:1 in order to plant vegetation.  
 4. Provide a minimum of 3 inches of mulch around all vegetation.

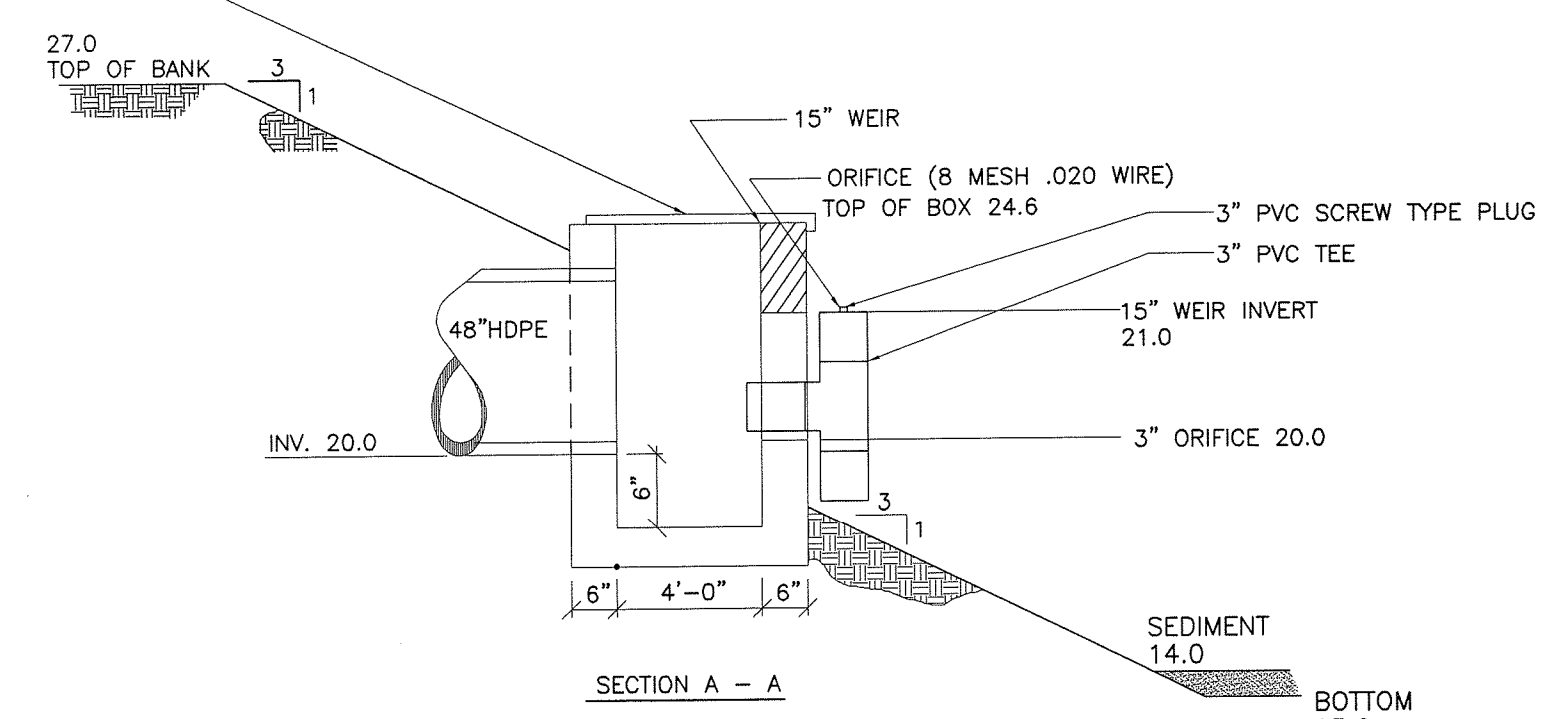
**TYPICAL CITY OF WILMINGTON STORMWATER FACILITY LANDSCAPING PLAN**  
 NTS (SD 15-16)



**BAFFLE SPACING DETAIL**  
 NTS



**MAIN POOL BORING No. 1**  
 SHMT 24.0



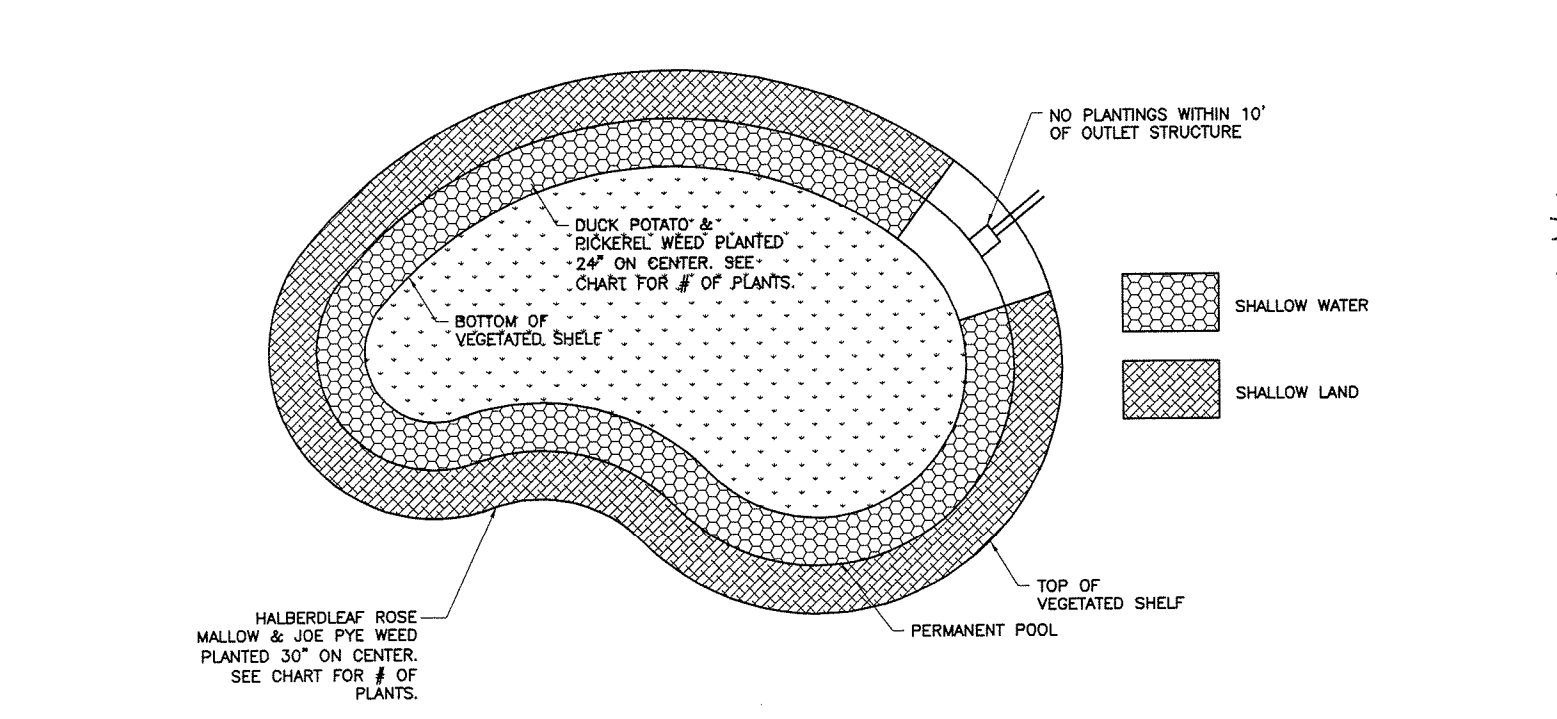
**DETENTION POND OUTLET STRUCTURE**  
 NTS

EROSION CONTROL NOTE:  
 THE WEIR OPENING SHOULD BE KEPT CLOSED UNTIL STREETS AND POND ARE COMPLETE AND VEGETATION HAS BEEN ESTABLISHED.

NORMAL POOL TO SHELF BOTTOM - 4218 SF						
1 PLANT PER 4 SF (24" O.C.) = 1054 PLANTS						
PLANT TYPE	QTY	BOTANICAL NAME	COMMON NAME	ROOT CALIPER	NOTES	
HERBACEOUS	527	SAGITTARIA LATIFOLIA	DUCK POTATO	CONT.	4" POT	24" O.C.
HERBACEOUS	527	PONTEDARIA CORDATA	PICKEREL WEED	CONT.	4" POT	24" O.C.

NORMAL POOL TO SHELF TOP - 4468 SF						
1 PLANT PER 8.25 SF (30" O.C.) = 713 PLANTS						
PLANT TYPE	QTY	BOTANICAL NAME	COMMON NAME	ROOT CALIPER	NOTES	
HERBACEOUS	357	HELBREDFEAF ROSE	MALLOW	CONT.	4" POT	30" O.C.
HERBACEOUS	356	HELBREDFEAF ROSE	JOE PYE WEED	CONT.	4" POT	30" O.C.



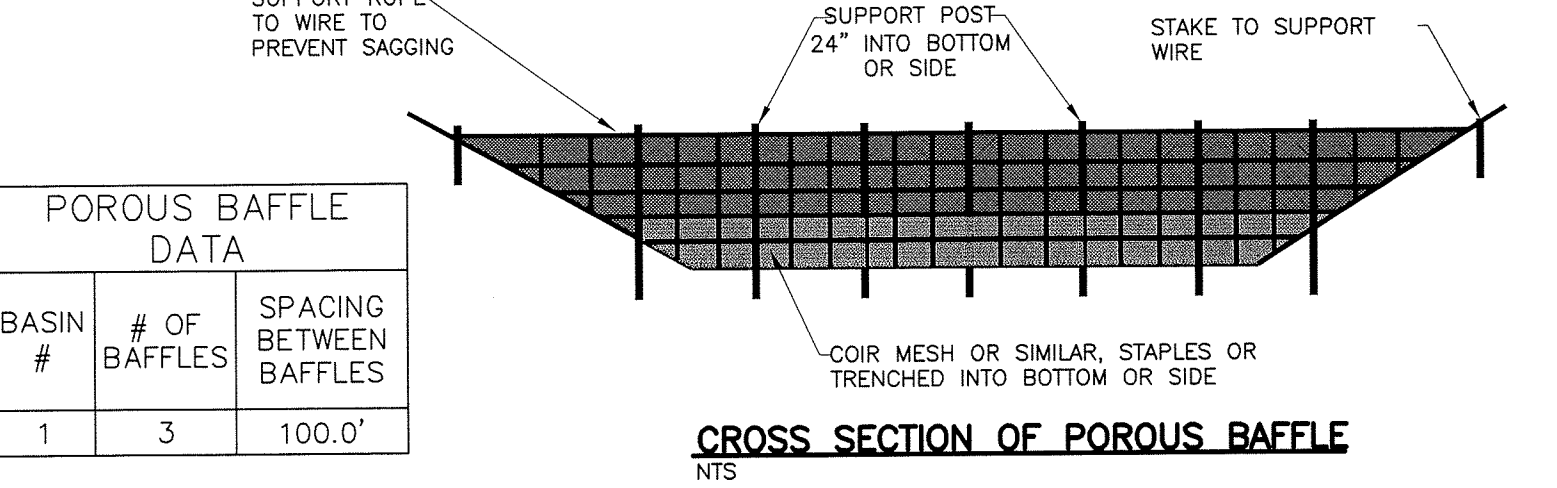
**TYPICAL VEGETATED SHELF LANDSCAPING DETAIL**  
 NTS

**TYPICAL VEGETATED SHELF LANDSCAPING DETAIL**  
 NTS

Notes:  
 1) NO PLANTINGS WITHIN 10' OF OUTLET STRUCTURE.  
 2) ALL LANDSCAPE MATERIAL, INCLUDING GRASS, SHOULD BE PLANTED IN GOOD TOPSOIL. NATIVE UNDERLYING SOILS MAY BE SUITABLE FOR PLANTING IF AMENDED WITH 4" OF WELL-AERATED COMPOST TILED INTO THE SURFACE. COMPOST SHOULD MEET SPECIFICATIONS FOR GRADE A COMPOST QUALITY.  
 3) A PERMANENT TWO-YEAR MAINTENANCE PERIOD STIPULATING REQUIREMENTS FOR SURVIVAL/REPLACEMENT.  
 4) PERMANENT VEGETATED STABILIZATION OF THE POND SIDESLOPES WILL BE REQUIRED PRIOR TO FINAL INSPECTION.

**BAFFLE CONSTRUCTION SPECIFICATION:**

- GRADE THE BASIN SO THAT THE BOTTOM IS LEVEL FRONT TO BACK AND SIDE TO SIDE.
- INSTALL THE COIR FIBER BAFFLES IMMEDIATELY UPON EXCAVATION OF THE BASINS.
- INSTALL POSTS ACROSS THE WIDTH OF THE SEDIMENT TRAP.
- STEEL POSTS SHOULD BE DRIVEN TO A DEPTH OF 24 INCHES AND SPACED A MAXIMUM OF 4 FEET APART. THE TOP OF THE FABRIC SHOULD BE 6 INCHES HIGHER THAN THE INVERT OF THE SPILLWAY. TOPS OF BAFFLES SHOULD BE 2 INCHES LOWER THAN THE TOP OF THE EARTHEN EMBANKMENT.
- INSTALL AT LEAST THREE ROWS OF BAFFLES BETWEEN THE INLET AND OUTLET DISCHARGE POINT. BASINS LESS THAN 20 FEET IN LENGTH MAY USE 2 BAFFLES.
- ATTACH A 9 GAUGE HIGH TENSION WIRE STRAND TO THE STEEL POSTS AT A HEIGHT OF 6 INCHES ABOVE THE SPILLWAY ELEVATION WITH PLASTIC TIES OR WIRE FASTENERS TO PREVENT SAGGING. IF THE TEMPORARY SEDIMENT BASIN WILL BE CONVERTED TO A PERMANENT STORMWATER BASIN OF A GREATER DEPTH, THE BAFFLE HEIGHT SHOULD BE BASED ON THE POOL DEPTH DURING USE AS A TEMPORARY SEDIMENT BASIN.
- EXTEND 9 GAUGE MINIMUM HIGH TENSION WIRE STRAND TO SIDE OF BASIN OR INSTALL STEEL T-POSTS TO ANCHOR BAFFLE TO SIDE OF BASIN AND SECURE TO VERTICAL END POSTS.
- DRAPE THE COIR FIBER MAT OVER THE WIRE STRAND MOUNTED AT A HEIGHT OF 6 INCHES ABOVE THE SPILLWAY ELEVATION. SECURE THE COIR FIBER MAT TO THE WIRE STRAND WITH PLASTIC TIES OR WIRE FASTENERS. ANCHOR THE MATTING TO THE SIDES AND FLOOR OF THE BASIN WITH 12 INCH WIRE STAPLES, APPROXIMATELY 1 FT APART, ALONG THE BOTTOM AND SIDE SLOPES OF THE BASIN.
- DO NOT SPlice THE FABRIC, BUT USE A CONTINUOUS PIECE ACROSS THE BASIN.
- ADJUSTMENTS MAY BE REQUIRED IN THE STAPLING REQUIREMENTS TO FIT INDIVIDUAL SITE CONDITIONS.



POROUS BAFFLE DATA		
Basin #	# of Baffles	Spacing Between Baffles
1	3	100.0'

**CROSS SECTION OF POROUS BAFFLE**  
 NTS

STORMWATER MANAGEMENT PLAN  
 APPROVED  
 CITY OF WILMINGTON  
 ENGINEERING DEPARTMENT  
 DATE 5/21/17 PERMIT # 201902723  
 SIGNED [Signature]

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan  
 Name [Signature] Date 5/21/17  
 Planning [Signature] 5/23/17  
 Traffic [Signature] 5/23/17  
 Fire [Signature] 5/23/17